

Planning Committee Agenda



To: Councillor Michael Neal (Chair)
Councillor Leila Ben-Hassel (Vice-Chair)
Councillors Ian Parker, Sean Fitzsimons, Clive Fraser, Mark Johnson,
Humayun Kabir, Joseph Lee, Ellily Ponnuthurai and Holly Ramsey

Reserve Members: Jade Appleton, Louis Carserides, Sherwan Chowdhury,
Chris Clark, Gayle Gander, Karen Jewitt, Endri Llabuti, Luke Shortland,
Appu Srinivasan and Nikhil Sherine Thampi

A meeting of the **Planning Committee** which you are hereby summoned to attend, will be held on **Thursday, 18 May 2023** at **6.00 pm** in **Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX**

KATHERINE KERSWELL
Chief Executive and Head of Paid Service
London Borough of Croydon
Bernard Weatherill House
8 Mint Walk, Croydon CR0 1EA

Tariq Aniemeka-Bailey
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www.croydon.gov.uk/meetings
Wednesday, 10 May 2023

Members of the public are welcome to attend this meeting, or you can view the webcast both live and after the meeting has completed at <http://webcasting.croydon.gov.uk>

If you would like to record the meeting, we ask that you read the guidance on the recording of public meetings [here](#) before attending

To register a request to speak, please either e-mail Democratic.Services@croydon.gov.uk or phone the number above by 4pm on the Tuesday before the meeting.

The agenda papers for all Council meetings are available on the Council website
www.croydon.gov.uk/meetings

If you require any assistance, please contact Tariq Aniemeka-Bailey
020 8726 6000 x64109 as detailed above.

AGENDA – PART A

1. Apologies for absence

To receive any apologies for absence from any members of the Committee.

2. Minutes of Previous Meeting (Pages 5 - 8)

To approve the minutes of the meeting held on Thursday 27 April 2023 as an accurate record.

3. Disclosure of Interest

Members are invited to declare any disclosable pecuniary interests (DPIs) and other registrable and non-registrable interests they may have in relation to any item(s) of business on today's agenda.

4. Urgent Business (if any)

To receive notice of any business not on the agenda which in the opinion of the Chair, by reason of special circumstances, be considered as a matter of urgency.

5. Development presentations (Pages 9 - 10)

To receive the following presentations on a proposed development:

5.1 22/01580/PRE - Royal Russell School, Coombe Lane, Croydon, CR9 5BX (Pages 11 - 50)

Demolition of the existing Junior School and replacement on the same site with a new Junior School, associated outdoor areas and landscaping.

Ward: South Croydon

6. Planning applications for decision (Pages 51 - 54)

To consider the accompanying reports by the Director of Planning & Strategic Transport:

6.1 22/04130/FUL - 34A, 34B And Rear Of 34 Arkwright Road, CR2 0LL (Pages 55 - 86)

Demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 9 dwellinghouses 3-4 storeys in height together with associated parking, access and landscaping.

Ward: Sanderstead
Recommendation: Grant permission

7. Items referred by Planning Sub-Committee

To consider any item(s) referred by a previous meeting of the Planning Sub-Committee to this Committee for consideration and determination:

There are none.

8. Other planning matters (Pages 87 - 88)

To consider the accompanying report by the Director of Planning & Strategic Transport:

8.1 Weekly Planning Decisions (Pages 89 - 184)

Attached is the list of Delegated and Planning Committee/SubCommittee decisions taken between 18 April 2023 and 5 May 2023.

9. Exclusion of the Press & Public

The following motion is to be moved and seconded where it is proposed to exclude the press and public from the remainder of a meeting:

"That, under Section 100A(4) of the Local Government Act, 1972, the press and public be excluded from the meeting for the following items of business on the grounds that it involves the likely disclosure of exempt information falling within those paragraphs indicated in Part 1 of Schedule 12A of the Local Government Act 1972, as amended."

Planning Committee

Meeting held on Thursday, 27 April 2023 at 6.30 pm in Council Chamber, Town Hall, Katharine Street, Croydon CR0 1NX

MINUTES

Present: Councillor Michael Neal (Chair);
Councillor Leila Ben-Hassel (Vice-Chair);
Councillors Ian Parker, Sean Fitzsimons, Clive Fraser, Mark Johnson,
Humayun Kabir, Joseph Lee, Ellily Ponnuthurai and Luke Shortland

Apologies: Councillor Holly Ramsey

PART A

1/23 **Disclosure of Interest**

There were no disclosures of a pecuniary interest not already registered.

2/23 **Urgent Business (if any)**

There was none.

3/23 **Development presentations**

4/23 **22/02663/PRE - 1-5 Lansdowne Road and Voyager House, 30-32
Wellesley Road Croydon, CR0 2BX**

To demolish the existing buildings and erect a development to provide 783 residential units (Use Class C3, as build to rent), 1,667sqm office space, internal and external amenity space, together with associated wheelchair accessible vehicle parking, cycle parking, landscaping, play areas and works.

Ward: Fairfield

Dimitri Tsompanidis and Richard Foxley attended to give a presentation and respond to Members' questions and issues raised for further consideration prior to submission of a planning application.

The main issues raised at this meeting were as follows:

Principle of Development

- There was concern over right place for the highest element of the proposed development. There was some support for this to be located on the Wellesley Road frontage whilst other members felt as though it should be placed further along Lansdowne Road.
- There were concerns over the heights of the proposed development.
- There was some support expressed for tall buildings in relation to housing.

Design, Townscape and Heritage

- The massing of the proposed development was better than the extant scheme.
- There were comments about being too tall and close together and heritage impacts.
- There needs to be more reassurance over wind mitigation.

Impact on Adjoining Occupiers Living Conditions

- Members sought clarity on whether there would be public access to the building and there was a request for a public access strategy to be provided.
- There was concern expressed at the lack of play space for older children and a request that this was looked into in more detail.
- There was concern about whether the loading bay was in the right direction and whether this would impact on the public square.

Mix and Quality of Accommodation Provided

- Members queried whether the units were bigger in size as there was not any balcony space provided.
- Members queried whether there was the possibility for residents to make slight changes to their units.
- Members sought clarity on whether utility bills would be separated from the rent charges.

The design approach and elevational detail including materiality of both buildings

- Members stressed the importance of the quality of the materials used to construct the building on the facades.
- The provision of public art was encouraged.
- Members asked the developer to consider how the facades would look in all weather conditions.
- There was a desire for the buildings appearance to reflect the heritage of the site and its surroundings.
- There was a request for the preservation of the existing mosaics at voyager house.

- There was preference for modular construction due to its lower carbon impact.

The 15% affordable housing provision

- Members asked for a need for a greater understanding of how the development would meet the needs of Croydon residents and how affordable housing could be maximised on the site.
- There was concern about the loss of employment floorspace.
- There was also a request for members to see the employment loss information.
- There was a request for the committee chair, vice chair and deputy chair to be invited to the next PRP session.

Potential impacts on neighbouring residential amenities in terms of light, outlook and privacy

- There was a need to consider privacy issues across the site and the two surrounding buildings.
- There was a need to consider noise issues in relation to Wellesley Road.

The importance of microclimate, urban greening, trees, biodiversity and sustainable drainage

- Members sought assurance over wind mitigation and how the developer aimed to avoid the creation of a wind tunnel around the site.
- Members asked the developer to further consider the impact of air pollution in the local area.
- There was a desire to see more tree planting around the site.
- There was a desire to exceed the required urban greening factor.
- There was a preference for modular construction due to less carbon impact.
- There was a request for future naming to reflect local heritage.
- There was a request to take into account Historic England's guidance on tall buildings.
- There was a request to link with other site- to include master-planning.

5/23 Planning applications for decision

There were none.

6/23 Items referred by Planning Sub-Committee

There were none.

7/23 **Other planning matters**

There were none.

8/23 **Weekly Planning Decisions**

The report was received for information.

Councillor Fraser asked for a briefing from officers about the applications that were granted and refused on appeal for clarity.

The meeting ended at 9.26 pm

Signed:

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Date:

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PLANNING COMMITTEE AGENDA

PART 5: Development Presentations

1 INTRODUCTION

- 1.1 This part of the agenda is for the committee to receive presentations on proposed developments, including when they are at the pre-application stage.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 ADVICE TO MEMBERS

- 2.1 These proposed developments are being reported to committee to enable members of the committee to view them at an early stage and to comment upon them. They do not constitute applications for planning permission at this stage and any comments made are provisional and subject to full consideration of any subsequent application and the comments received as a result of consultation, publicity and notification.
- 2.2 Members will need to pay careful attention to the probity rules around predisposition, predetermination and bias (set out in the Planning Code of Good Practice Part 5.G of the Council's Constitution). Failure to do so may mean that the Councillor will need to withdraw from the meeting for any subsequent application when it is considered.

3 FURTHER INFORMATION

- 3.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

4 PUBLIC SPEAKING

- 4.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

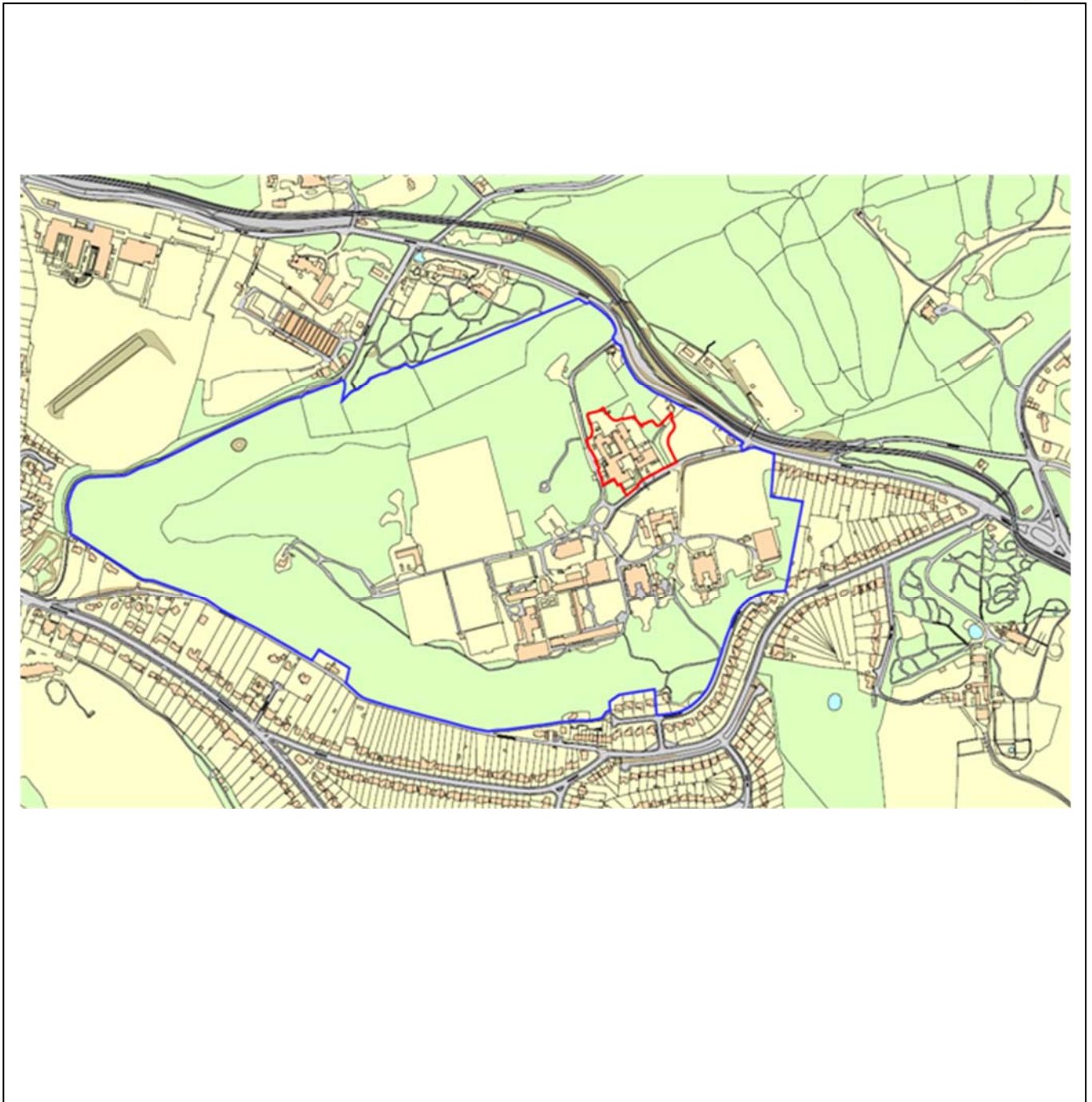
5 BACKGROUND DOCUMENTS

- 5.1 For further information about the background papers used in the drafting of the reports in part 8 contact Mr P Mills (020 8760 5419).

6 RECOMMENDATION

- 6.1 The Committee is not required to make any decisions with respect to the reports on this part of the agenda. The attached reports are presented as background information.

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1. DETAILS OF THE DEVELOPMENT

Ref: 22/01580/PRE
Location: Royal Russell School, Coombe Lane, Croydon, CR9 5BX
Ward: South Croydon
Description: Demolition of the existing Junior School and replacement on the same site with a new Junior School, associated outdoor areas and landscaping.
Applicant: Royal Russell School
Agent: Alexandra Martin, LUC
Case Officer: Samantha Dixon

2. PROCEDURAL NOTE

- 2.1 This proposed development is being reported to Planning Committee to enable Members to view it at pre-application stage and to comment upon it. The development does not constitute an application for planning permission and any comments made upon it are provisional, and subject to full consideration of any subsequent applications, including any comments received as a result of consultation, publicity and notification.
- 2.2 It should be noted that this report represents a snapshot in time, with negotiations and dialogue on-going. The plans and information provided to date are indicative only and as such the depth of analysis provided corresponds with the scope of information that has been made available to Council officers. Other issues may arise as more detail is provided and the depth of analysis expanded upon.
- 2.3 The report covers the following points:
- a. Executive summary
 - b. Site briefing
 - c. Design Review Panel feedback
 - d. Matters for consideration and officers' preliminary conclusions
 - e. Specific feedback requests
 - f. Procedural matters

3. EXECUTIVE SUMMARY

- 3.1 The scheme has so far been developed through a number of pre-application meetings with officers. It was considered by the Design Review Panel (DRP) on 4th May 2023 and at the time of writing their written comments are yet to be provided. However, a brief summary of points captured by officers at the DRP meeting have been provided and should the written comments be received prior to the Planning Committee meeting, a summary will be provided as an addendum.
- 3.2 Main discussions so far have focused on the principle of the development in the Metropolitan Green Belt, the scale/massing/form of the proposed building, and the design approach. Discussions are ongoing in relation to these matters and with regards to other technical matters such as sustainability, flood risk, ecological and transport impacts. Due to the scale of development proposed in the Green Belt, it is referable to the Greater

London Authority (GLA). The applicants have a pre-application meeting scheduled with officers of the GLA on the 16 May 2023 (with the LBC case officer in attendance). A brief summary of the outcome of that meeting will be provided in the addendum to the Planning Committee meeting.

4. SITE BRIEFING

- The Royal Russell School site is around 24 hectares in area and contains a large independent school (providing both secondary and primary education) comprising a series of individual buildings of one to three storeys in height, alongside large areas of parking, playing pitches and courts, staff accommodation and large areas of woodland. The school was established on the site in the 1920s. The school accommodates girls and boys from age 3 to 18 with both day and boarding pupils. The school provides education for approximately 910 pupils, of which 135 are boarders.
- The application relates only to the Junior School element of the site which is outlined in red in Figure 1 below. The junior school sits to the north of the main school campus and is the most visible part of the school from the entrance gates. The Junior school building was erected in the 1960s constructed of Laingspan. As well as the Junior School facilities, the buildings also comprise the nursery, medical wing and boarding accommodation. The boarding accommodation has been relocated into new build accommodation to the south and this element of the building is currently unoccupied. The buildings range in height from one to three storeys. There are outside play areas mainly to the rear and the complex is surrounded by woodland.

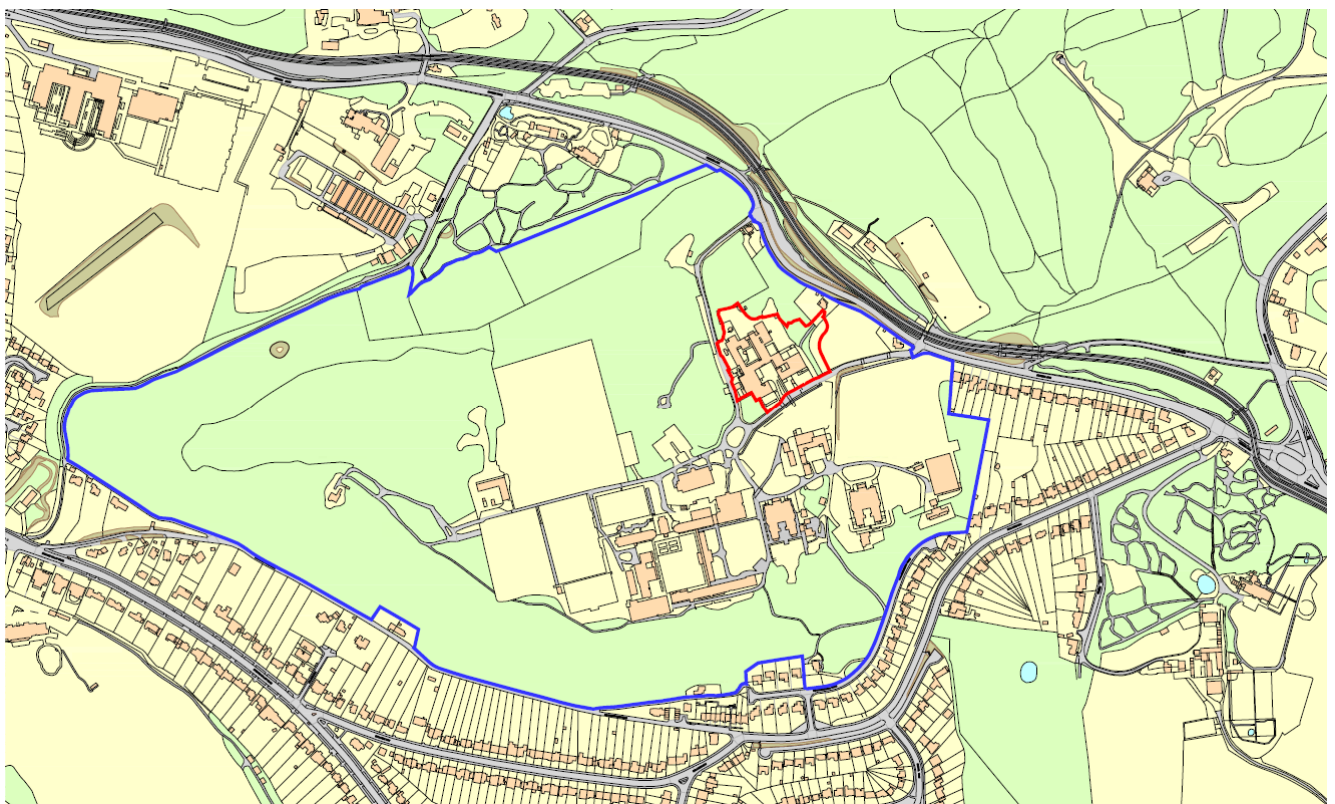


Figure 1: Site location plan



Figure 2: Aerial view of the Royal Russell School campus



Figure 3: Existing Junior School building when viewed from vehicular access into the site

- Access to the school campus is entirely from the Coombe Lane (A212) entrance point. A historic access is located to the western side of the junior school site, however is no longer in use. The existing car parking is located to the front/south of the junior school site and serves the whole campus.
- The surrounding area is predominantly residential and occupied by two storey detached and semi-detached dwellings. The tramline runs past the site to the opposite side of

Coombe Lane to the north east. The north eastern part of the site slopes gently downwards towards Coombe Lane. However, due to the topography and presence of mature trees, views into the site are limited.

Designations

- The site is located within the designated Metropolitan Green Belt
- Much of the site is within a Site of Nature Conservation Importance (the junior school site itself is not within this designation however the land surrounding the site is)
- The site is within an Archaeological Priority Zone
- The entire school site is a locally listed Historic Park and Garden
- The Main Lodge of the school (to the north of the junior school site) and the part of the main school building (within the main school complex to the south west of the junior school site) are on the Council's Local List of buildings of Architectural or Historic Value.
- Old Ballards Cottage to the far south of the school campus is a Grade II statutorily listed building.
- A small part of the site to the north-west adjoining Coombe Wood lies on the edge of a designated Croydon Panorama (viewed from Addington Hills).
- Some trees within the site are protected by Tree Preservation Orders (TPO). There are two TPO's that affect the site TPO No.27, 1970 and No.27, 2014. Neither of these are located in close proximity to the junior school site.
- The site (at its entrance point) has a Public Transport Accessibility Level (PTAL) of 2, Coombe Lane tram stop is approximately 160m from the school entrance (3 minute walk). This tram runs to new Addington and Wimbledon (via Croydon).
- The site is largely at low risk of surface water flooding, however there are areas around the junior school (including the area where the new building is proposed) that are at 1 in 1000 year risk. The site has limited potential for ground water flooding to occur.

Relevant Planning History

There is extensive planning history at the site. The following most recent planning decisions are:

Reference No.	Description	Decision
07/03765/P	Erection of two/three storey link extension to provide performing arts centre; enhanced kitchen and dining facilities and ancillary office accommodation.	Approved [and implemented]
11/03345/P	Erection of single storey detached building for use by gymnastics club.	Refused due to impact on greenbelt and unsatisfactory design and layout.
13/01357/P	Two all-weather pitches; multi use games area; floodlights; new grass playing pitches; improvements of internal access road.	Approved [and implemented]
14/03633/DT	Proposed boarding houses and pavilion, to be the first applications within merging	Environmental Impact Assessment Not Required.

	master plan proposals for boarding houses, academic and sports facilities, car parking and landscaping.	
15/01323/P	Construction of two three-storey buildings to provide replacement residential student accommodation and associated landscaping and ecological enhancement works, and demolition of the existing Cambridge House residential student accommodation.	<p>Permission granted 30.07.2015</p> <p>Within the assessment of this application it was concluded that the development was inappropriate in the Green Belt however very special circumstances existed to outweigh the harm. To mitigate the harm the applicant committed to demolition of other buildings within the site to offset the development, the Officer report commented as follows:</p> <p><i>'Following the completion and occupation of Building 1, the existing Cambridge House boarding accommodation would be demolished, releasing 633m2 of Green Belt land. Following the completion and occupation of Building 2, the existing Queens House boarding accommodation would be demolished, releasing a further 950m2 of land. This is a significant mitigating factor to be weighed against the harm to the Green Belt in this case. The applicant has confirmed that they would be prepared to commit to the demolition of the existing buildings in this sequence and the detailed wording of a planning condition (Planning Condition 8) is recommended to reflect this approach'.</i></p> <p>Subsequently, Condition 8 of 15/01323/P reads as follows:</p> <p>The demolition of Cambridge House, shown on plan ref. 2715 A004 8 shall be commenced no later than 6 months after the first occupation of Building I shown on plan ref. 2715 A499. The demolition of Queens House, hatched in red on plan ref. 2715 A499, shall be commenced no later than 6 months after the first occupation of Building II shown on plan ref. 2715 A499. The demolition works shall be completed no later than 6 months following their commencement.</p> <p>Reason: To preserve the openness and visual amenity of the Green Belt in accordance with Policies RO1 of the Croydon Replacement Unitary Development Plan (The Croydon Plan 2006) Saved</p>

		Policies 2013, Policy 7.16 of the London Plan (Consolidated with alterations since 2011) and Chapter 9 of the National Planning Policy Framework (NPPF).
16/04999/CONR	Construction of two three-storey buildings to provide replacement residential student accommodation and associated landscaping and ecological enhancement works, and demolition of the existing Cambridge House residential student accommodation (without compliance with condition 7 -sustainability- and 17- built in accordance with plans- attached to planning permission 15/1323/P).	Permission granted 07.02.2017
17/00682/CONR	Construction of two three-storey buildings to provide replacement residential student accommodation and associated landscaping and ecological enhancement works, and demolition of the existing Cambridge House residential student accommodation (without compliance with condition 8 - time period for demolition of Cambridge House- attached to planning permission 15/01323/P).	<p>Permission granted 14.07.2017.</p> <p>Wording of Condition 8 amended to read as follows:</p> <p>The demolition of Cambridge House, shown on plan ref. 2715 A004 8 shall be commenced no later than <u>1 year</u> after the first occupation of Building I shown on plan ref. 2715 A499. The demolition of Queens House, hatched in red on plan ref. 2715 A499, shall be commenced no later than 6 months after the first occupation of Building II shown on plan ref. 2715 A499. The demolition works shall be completed no later than 6 months following their commencement.</p> <p>Reason: To preserve the openness and visual amenity of the Green Belt in accordance with Policies RO1 of the Croydon Replacement Unitary Development Plan (The Croydon Plan 2006) Saved Policies 2013, Policy 7.16 of the London Plan (Consolidated with alterations since 2011) and Chapter 9 of the National Planning Policy Framework (NPPF).</p>
18/02909/FUL	Science block extension	Permission granted 11.09.2018
20/02463/CONR	Variation of condition 8 (time for demolition in respect of Queens House extended to 12 months) subject to previous planning	<p>Permission granted 30.10.2020.</p> <p>In considering the application, the Officer report commented as follows:</p>

	<p>consent ref. 19/02112/CONR.</p>	<p><i>It is not considered appropriate or necessary to extend the time allowed for demolition by 2.5 years. The main consideration is the impact of the variation to the condition on the openness and visual amenity of the Metropolitan Green Belt. The impact of the change would mean Queens House would be retained on the site for an additional 2.5 years (maximum) than was originally required by the condition. One of the main justifications for allowing the original redevelopment of the school in the Green Belt was the ability to control the phasing of development to ensure that works continue and Green Belt land is released as planned to minimise the long term impact on openness. It is considered that three years is an excessive length of time to extend the demolition requirement by, and would effectively mean works would cease for a significant length of time with the existing situation (and harm to the Green Belt) becoming established on site. The varied wording of the condition originally proposed by the applicant therefore cannot be supported.</i></p> <p><i>On balance it is considered an extension of time of a further 6 months (total of 1 year) to the demolition of Queens House can be accepted, to allow the applicant some flexibility given the arguments they have raised but ensuring the phased works continue to minimise the impact on the Green Belt. It is not considered appropriate or necessary to extend the other timescales secured by the condition, for example it is not considered unreasonable for demolition to be completed within 6 months of its commencement to allow development to move forward.</i></p> <p>Subsequently the wording of Condition 8 was amended as follows:</p> <p><i>The demolition of Cambridge House, shown on plan ref. 2715 A004 8 shall be commenced no later than 1 year after the first occupation of Building I shown on plan ref. 2715 A499. The demolition of Queens House, hatched in red on plan ref. 2715 A499, shall be commenced no later than 1 year after the first occupation of Building II shown on plan ref. 2715 A499. The demolition works shall be</i></p>
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		<p><i>completed no later than 6 months following their commencement.</i></p> <p><i>Reason: To preserve the openness and visual amenity of the Green Belt.</i></p>
22/02544/CONR	<p>Variation of Condition 8 (time for demolition in respect of Queens House) attached to planning permission ref. 15/01323/P (as amended by 19/02112/CONR and 20/02463/CONR)</p> <p>(Construction of two three-storey buildings to provide replacement residential student accommodation and associated landscaping and ecological enhancement works, and demolition of the existing Cambridge House residential student accommodation)</p>	<p>Granted 30.03.2023</p> <p>By reason of the ongoing extensive pre-application discussions with regard to the replacement of the junior school building, the wording Condition 8 was amended as follows:</p> <p><i>The demolition of Cambridge House, shown on plan ref. 2715 A004 8 shall be commenced no later than 1 year after the first occupation of Building I shown on plan ref. 2715 A499. The demolition of Queens House, hatched in red on plan ref. 2715 A499, shall be commenced no later than 2 years 6 months after the first occupation of Building II shown on plan ref. 2715 A499. The demolition works shall be completed no later than 2 years following their commencement.</i></p> <p><i>Reason: To preserve the openness and visual amenity of the Green Belt.</i></p>

Proposal

4.1 The proposal has been amended during the course of on-going discussions. The current proposal is for the following:

- Partial demolition of some existing buildings on site to enable the construction of the new junior school and to accord as far as possible with Condition 8 of planning permission ref. 15/01323/P.
- Erection of new junior school building
- Increase in number of classrooms from 19 to 20 (enabling a capacity of pupils from 380 – 400)
- Installation of MUGA and outside play areas
- Installation of extensive soft landscaping and tree planting
- No alteration proposed to existing access or parking arrangement
- Provision of refuse storage area
- Full demolition of existing junior school building on site once the new building is ready for occupation.

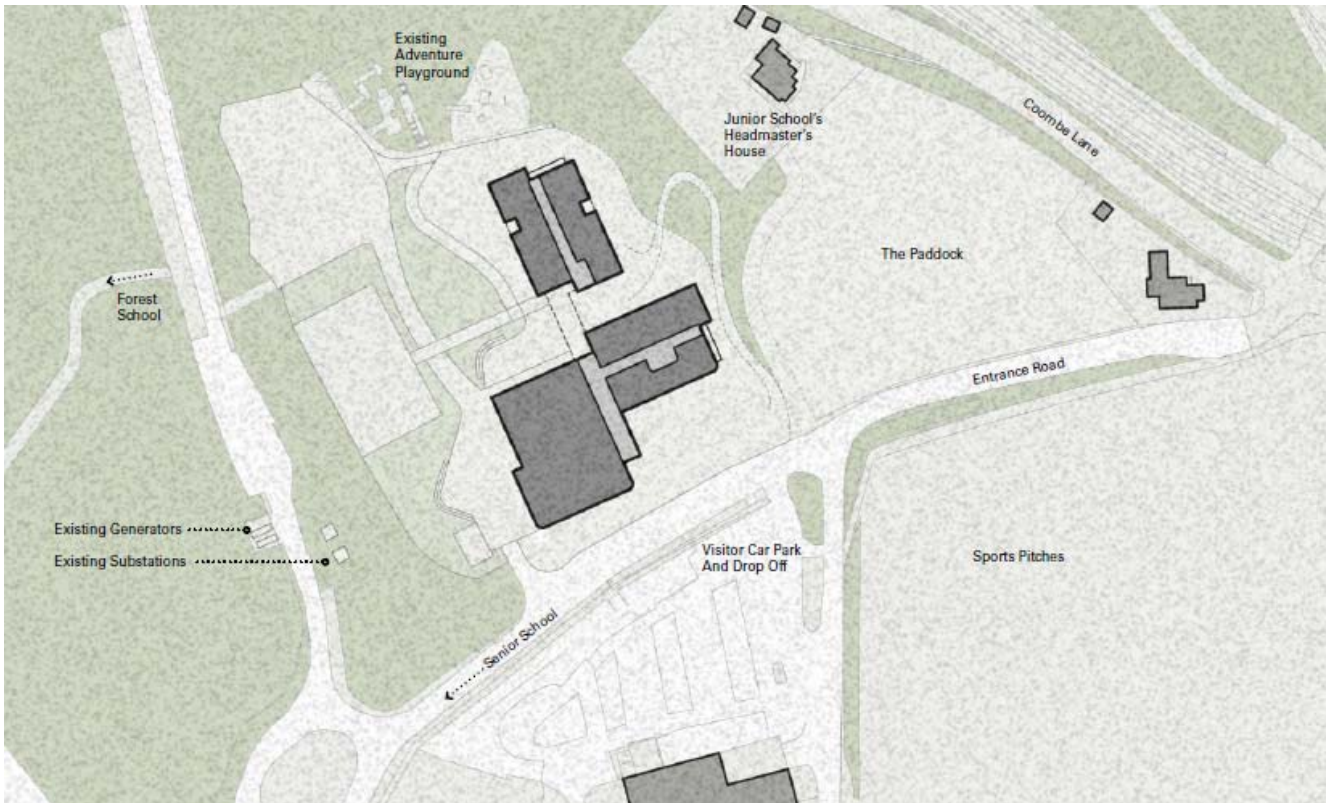


Figure 4. Proposed site plan

5. DESIGN REVIEW PANEL FEEDBACK

5.1 The scheme was presented to the Council's Design Review Panel (DRP) on 4th May 2023, see images and plans below in this report for the scheme that was presented to DRP.

5.2 Massing

- The Panel consider that the massing and way the building sits with the site is positive.
- The Panel liked the way the building has been broken into three parts.
- They consider that the two rear blocks work well, however the frontage block is not so successful. The curve and the blank corner don't work. The building should be more outward facing. The elevations should be brought more in harmony with one another.

5.3 Architectural Expression

- The Panel questioned the relationship of the proposed building to the rest of the school site. How does it speak to the adjacent buildings? The connection is not balanced right at the moment.
- The building doesn't need to be so 'hidden'
- The Panel would like to see more boldness in the material palette. The original buildings on site are not shy and this should be celebrated.
- The Panel liked the use of timber and felt that there could be more timber within the material palette.
- The Panel like the concept of the spine however felt that its appearance has been watered down too much in the latest iterations.
- The entrance is key and needs to be more dominant.
- Public art at the entrance is encouraged.

5.4 Landscape and Amenity

- The Panel like the access approach
- The landscape approach responds well to the setting
- The Panel noted that the teaching environment will be amazing thanks to the landscaping opportunities e.g. rain gardens, network of routes, planting
- The Panel suggested the applicant think more flexibly about the MUGA and what it could be e.g. outdoor performance area, rain water attenuation area.
- Outdoor covered spaces for teaching will be really valuable.
- Connectively to the rest of the site should be better achieved by use of landscaping. The applicant should look beyond the red line e.g. planting within car park, connection to the forest school.
- If trees are removed, they should be reused on site e.g. for biodiversity, for education.
- The scheme should promote the use of extensive green roofs alongside the PV panels.

5.5 Summary

- The Panel are supportive of the siting and massing of the building
- The Panel felt that the architectural expression is lacking and should better connect with the more historic buildings at the Senior School site.
- The landscaping creates a fantastic opportunity to provide a fantastic teaching facility.

6 SUMMARY OF MATTERS FOR CONSIDERATION

6.1 The main matters for consideration in a future submission are as follows:

- Principle of development in the Metropolitan Green Belt
- Design and Heritage
- Quality of Accommodation Provided
- Impact on Adjoining Occupiers Living Conditions
- Highways impacts
- Environment
- Other matters

Principle of Development in the Metropolitan Green Belt

Policy context

6.2 Section 13 of the NPPF (2021) refers to the protection of Green Belt land. Paragraph 147 states that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Paragraph 148 says that when considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.

6.3 Paragraph 149 outlines that a local planning authority should regard the construction of new buildings as inappropriate in the Green Belt. Exceptions to this are:

a) buildings for agriculture and forestry;

- b) the provision of appropriate facilities (in connection with the existing use of land or a change of use) for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it;
 - c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building;
 - d) the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces;
 - g) limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings), which would: – not have a greater impact on the openness of the Green Belt than the existing development; or – not cause substantial harm to the openness of the Green Belt, where the development would re-use previously developed land and contribute to meeting an identified affordable housing need within the area of the local planning authority.
- 6.4 Policy G2 of the London Plan (2021) refers to London’s Green Belt and says that the Green Belt should be protected from inappropriate development. Development proposals that would harm the Green Belt should be refused except where very special circumstances exist.
- 6.5 Croydon Local Plan (2018) Policy DM26 refers to the Metropolitan Green Belt. The Council will protect and safeguard the extent of the borough’s Metropolitan Green Belt by applying the same level of protection as national planning policy. In considering whether extensions to existing buildings are disproportionate or if any proposed structure harms the openness of Metropolitan Green Belt the Council will have regard to:
- a. Changes in the floor space and volume of buildings;
 - b. The floor space and volume of all previous extensions (since 1948), alterations and developments within the curtilage of the dwelling;
 - c. Use of basements and roof spaces as living areas;
 - d. Whether there is an increase in the spread of buildings across the site, in particular where visible from public vantage points;
 - e. The size of the curtilage and character of the surrounding area; and
 - f. Whether ancillary structures have an urbanising effect.

Whether the proposals constitute inappropriate development

- 6.7 As noted above, Paragraph 149 of the NPPF outlines exceptions within the Green Belt that could be considered as appropriate. This includes the replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces.
- 6.8 Officers do not consider that the proposal constitutes development that is captured by any of the relevant exceptions and this is because, as a result of the site planning history, the proposal would introduce development in the Green Belt that would be

function, and align with the wider redevelopment aspirations for the Junior School building (22/02544/CONR).

- 6.11 The consequences of this previous permission, and required demolition, are that the resultant volume of building that is retained as the existing junior school is considerably less than existing.
- 6.12 Now as proposed, the increased mass, when taking into account the volume of the new building, plus that of the boarding houses approved under 15/01323/P (as the volume to be demolished by condition is made negligible as a result of the proposed new mass), would have a greater impact on the openness of the Green Belt than that of the existing development (as granted by the restrictions of the planning permission). Therefore, the proposal would introduce development in the Green Belt that would be significantly greater in floor space and volume than the existing structures and is therefore inappropriate development.

Footprint analysis

Existing gross external footprint = 2,886sqm
Amount left after removal of floor space by Condition 8 of 15/01323/P = 1,698sqm
Proposed gross external footprint = 1,939sqm
= Increase in footprint = **+241sqm**

Floor area analysis

Total gross external floor area of existing school = 5,735sqm
Amount to be demolished by Condition 8 = 3,231sqm
Remaining space = 2,504sqm
Proposed external floor area of new school = 4,019sqm
= Increase in floor area of = **+1,515sqm**

The scheme proposes 20 classrooms (which is 1 more than the current school).

- 6.8 The applicant has made the argument that, for the following reasons, the proposed school would not have a greater impact on the openness of the Green Belt than the existing development:
- Regardless of exact timings of when buildings are demolished and why, at the end of the process this area of previously developed Green Belt land will be more open than it is currently.
 - The proposed school will have a more compact form than the existing Junior School, making best use of land, and improving the physical openness of this part of the Green Belt. The current school contains areas of enclosed courtyard space which, while not contributing to the built footprint, also do not contribute to the visual openness of the site as they cannot be seen other than from above. The result is that visually, the existing school appears to use much more of the site. The proposed Junior School is located solely on the eastern part of the site and does not include enclosed courtyards or other hidden open spaces. Instead the entire central and western portion of the site will be kept open and used for outdoor play and landscaping. Therefore, the site will be much more open.

- With the demolition required by Condition 8 being taken into consideration, the actual 'built area' of the site (the footprint) will only be increased by 241sqm.
- The form of the building makes best use of the natural slope, seeking to ground the building in the topography, siting it down into the natural northward sloping site and presenting a single storey to the east and views from the entrance to the school grounds.
- The massing has been broken up into three distinct building forms allowing the building to sit more comfortably in the Green Belt context. A connecting bridge is proposed which allows for views through the proposed school and allows the landscaping to flow through and around the building.
- The materials of the building will be more complementary to the surrounding Green Belt setting, reducing visual impact. Materials will use muted tones but will complement the character of the existing buildings on site which are constructed predominantly of brick and stone. The existing buildings are of unattractive 1960s construction which is considered to detract from the Green Belt woodland and parkland setting of the school. The current areas of hardstanding contrast with the surrounding landscape. The proposed Junior School includes external areas designed to work in harmony with the existing woodland Green Belt setting.
- There will be additional planting along the eastern boundary of the proposed Junior School which will soften views of the building from both within the site and the entrance to the school.
- Existing and proposed views of the Junior School are included in the submitted design document (see images further below in this report) and illustrate the positive impact the new school will have on the setting of this area of the campus. The proposals sit much more comfortably within the topography and thus appear lower than the existing school from the main entrance. The surrounding woodland will be visible above and provide a backdrop to the proposed building. The materials also work to soften the visual impact. Furthermore, the proposals will include a significant amount of planting that will help to soften the view of the new building from this road. From other areas of the campus, in particular the western side, the new building is less visible as it is contained within the eastern portion of the site, with the western half dedicated to outdoor play and landscaped areas. It is noted that the land beyond the main the School campus is very well wooded so views of the new building from outside the campus are restricted to limited views at the entrance off Coombe Lane.
- Provided floor plans of existing junior school provision which evidences that the proposal is replacing (and improving) facilities that the school already has.
- The increase in floor space in comparison to the existing junior school provision is as a result of the one additional classroom and the thickness of the external walls which is required to provide a high level of thermal insulation.
- The applicant has explored all possibilities to undertake other demolition on the school campus, however all of the remaining buildings are in constant use and are all essential to the schools function.

6.9 Whilst the positive design and landscaping moves listed above are noted by the local planning authority, and will be discussed in the sections below, impact on the openness

of the Green Belt needs to be measured in terms of building mass (floorspace and volume) not just footprint and with regard to the site history. As such, officers maintain that the development amounts to inappropriate development in the Metropolitan Green Belt, and as such should not be approved except in very special circumstances.

The very special circumstances

- 6.10 Paragraph 147 of the NPPF states that: *“Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.”* Paragraph 148 states that: *“Very special circumstances will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations.”*
- 6.11 The applicant has identified a number of ‘very special circumstances’ which they consider would cumulatively outweigh the harm to the Green Belt by reason of inappropriateness and to justify the development:
- 6.12 Planning Policy - There is planning policy support for providing adequate school facilities. Paragraph 95 of the NPPF states that it is important that a sufficient choice of school places is available to meet the needs of existing and new communities and that great weight should be given to the need to create, expand or alter schools. Policy S3 of the London Plan states that development proposals should ensure that there is no net loss of education or childcare facilities. Boroughs should ensure the location and provision of a range of childcare services in different types of settings to meet the needs of local communities. Croydon Local Plan Policy SP5 says that the Council will support investment in the improvement and expansion of primary and secondary schools and special schools to meet the needs of the community and its growing population. Pre-school facilities will be provided, enhanced and updated in alignment with the growing population. Paragraph 7.15: The quality of educational facilities needs continual renewal and improvement to meet modern standards. Additionally, the educational estate needs to be expanded to meet the requirements arising from housing and demographic growth and to fulfil the objectives of Croydon’s Sustainable Community Strategy. This will require both the expansion of existing schools and the provision of new schools.
- 6.13 There is clear national and local policy support the provision and improvement of schools and their facilities, which should be given weight in planning decisions.
- 6.14 Quality of existing buildings - The new Junior School is proposed out of necessity rather than desire. The existing Junior School is one of a collection of buildings at Royal Russell School that were built in the 1960s of ‘Laingspan’ construction, a method which has a limited structural lifespan. The Laingspan buildings are of prefabricated concrete construction held in place by tensioned steel cables. However, these steel elements are vulnerable to rust and consequently Laingspan buildings have a limited life. A number of these buildings, such as Cambridge Boarding House, have already been demolished and replaced. Those that remain, including the Junior School, now require more regular engineering checks and urgently need to be replaced. A recent structural survey noted that there is little time left for the current Junior School buildings.
- 6.15 Regardless of the Laingspan issues, the existing Junior School is now aging. The existing spaces are no longer fit for purpose and do not meet the requirements and standards of the school for teaching and learning. The new Junior School will be of a much higher quality with spaces specifically designed both for the school’s needs and to accord with modern day teaching standards.

- 6.16 The existing Junior School has a capacity for 380 pupils (based on the provision of 19 classrooms each able to accommodate 20 pupils). However actual pupil numbers are lower than this as the school does not have sufficient supporting spaces in terms of quantity and quality e.g. insufficient space for gatherings and dining space. The proposed building is significantly more efficient than the current building.
- 6.17 Building Bulletin 103 (a Department for Education guidance document that aims to assist those involved in creating design briefs for new schools) has been used in parallel with an analysis of the curriculum being offered by Royal Russell to determine and develop the areas required for the various spaces within the proposed school. The range and number of specialist teaching spaces in the proposed new Junior School is equivalent to the current provision, in order to meet the needs of the school's successful curriculum.
- 6.18 The existing Junior School is inefficient in terms of its circulation space and built fabric, resulting in high energy use. The proposed school is much more efficiently planned than the existing school, which will have significant operational and sustainability benefits (see further detail below).
- 6.19 Implications of Condition 8 demolition – As outlined above, some of the spaces that are required to be demolished by Condition 8 are integral to the functioning of the Junior School (e.g. plant space, gym, classrooms). Therefore this demolition cannot commence and allow the existing Junior School to operate.
- 6.20 The calculation to determine the area of the Junior School to be demolished in order to balance out the area of built development in the Green Belt was based purely on footprint at the time of determining application 15/01323/P. It is noted that the footprint of the proposed Junior School exceeds the footprint of the existing Junior School (which is left once the required demolition has taken place), by 241 sqm, which the applicant considers could be viewed as not being materially larger than the existing building.
- 6.21 When all of the floorspace to be demolished by Condition 8 is removed from the existing school floor space, there is not adequate space left to provide a replacement Junior School which is fit for purpose. Building within the parameters of the remaining floor space would not enable the school to reprovide current provision, nor improve necessary assembly or dining/support spaces to current standards and guidance.
- 6.22 Demonstration of educational need
- 6.23 There are no sites in this part of the borough that are allocated for educational use in the local plan. All sites allocated for education use within the current Local Plan have either been developed or granted planning permission.
- 6.24 The Royal Russell School campus lies entirely within the Green Belt. The school does not own any land outside of the existing Green Belt campus. The applicant ascertains that the replacement Junior School is required to be located on the Royal Russell School campus. The 'through school' provision is an intrinsic part of the Royal Russell business model, and is important to pupils and parents. Feedback shows that parents hold the 'through provision' near the top of their agenda when considering Royal Russell Junior School. Furthermore, year 5 and 6 are always at capacity as parents see this as an entry point to the senior school at year 7. More than 90% of year 6 pupils will progress on to the Senior School.
- 6.25 The loss of the Junior School from the site would cause irreparable damage to the school from an education perspective, and as a business, with the need for up to 380 pupils to

find alternative school places, and 50+ staff to find alternative employment, and a loss of income in excess of £5m per annum.

6.26 Royal Russell School is an extremely popular option for parents in the area seeking an independent education for their children. There is clear demand, and therefore an educational need, for the replacement Junior School to be provided. This is evidenced by:

- The current pupil roll and high demand.
- Current un-met demand due to insufficient facilities (capacity is 380).
- The nursery is over-subscribed.
- Royal Russell School receives 7 applications for every place.

6.27 Primary school provision and capacity within LB Croydon – In LB Croydon's 2023 Education Estates Strategy Report (2022 – 2025), the council noted that there were more places than pupils at both primary and secondary levels, but the balance between the two varied across the borough, within educational planning areas and particularly school-by school: shortages of places at popular schools can exist alongside surplus places at others. While demand for state primary school places has reduced in LB Croydon as a whole, due to falling birth rates and changes in immigration, this has mainly been experienced in the north west and east of the borough. Over the next three years, the expected growth in pupil numbers varies widely: in some places, particularly in the central and south of the borough, demand for school places is expected to increase due to pupil yield from planned housing developments. For example, there has been a higher than expected increase in demand for school places in the south-west due to pupil yield from the Cane Hill housing development in Coulsdon, as well as in the centre of the borough. In summary, while there are currently sufficient primary school places in LB Croydon, there is a shortfall of places at popular schools, and additional need is linked to new housing development in central and southern parts of the borough. Royal Russell School lies within the South East primary school planning area of the borough.

6.28 The applicant has provided data for each of the nine closest state primary schools to Royal Russell, including their 2022 admissions number, the number of applications received for 2022 and the furthest straight line distance for 2022 intake. It can be seen that each was oversubscribed, most by a significant amount, and that generally, the furthest distance for intake is very small (less than a mile for six of the nine schools listed). This suggests that primary school pupils in the area may not have received their first choice school place.

Primary School (and straight line distance from Royal Russell)	2022 admissions number	Applications received for 2022	Furthest straight line distance for 2022 intake
Park Hill Infants (1.3 miles from Royal Russell)	90	325	0.374
St Johns C of E Primary School (1.05 miles from Royal Russell)	60	206	N/A
Harris Primary Academy Benson (1.28 miles from Royal Russell)	30	109	0.717
Courtwood Primary School (1.56 miles from Royal Russell)	30	119	0.363
Forestdale Primary School (1.3 miles from Royal Russell)	60	183	0.438
Gilbert Scott Primary School (0.92 miles from Royal Russell)	30	44	4.187
Selsdon Primary and Nursery (0.93 miles from Royal Russell)	90	102	2.266
Ridgeway Primary School (1.29 miles from Royal Russell)	90	317	0.649
St Peters Primary School (1.06 miles from Royal Russell)	60	220	0.683

- 6.29 Another good indicator of local demand for state school places is Coombe Wood School, located in close proximity to Royal Russell School. When it opened in 2018, Coombe Wood School received 530 applications for 180 places. While this is a secondary school, the school notes that this level of applications demonstrates the strength of demographic demand in the area. Coombe Wood School also provides a precedent of education development on a Green Belt site (although the site was removed from the Green Belt in the local plan) for the provision of school places in the local area.
- 6.30 The applicant contends that, whether or not there is an overall surplus in the state sector, it remains the case that there is an existing Junior School at Royal Russell, an essential need to replace the current building for current pupils, and a clear demand for places. National and local planning policy strongly supports a choice in education provision (as set out in NPPF paragraph 95, and Croydon Local Plan Policy SP5.9 and SP5.11), and Royal Russell makes an important contribution to this.
- 6.31 Alternative Independent School Provision in LB Croydon – The applicant has provided an analysis of alternative independent school provision in the borough. There are no other schools in the area which cater for children from 3 years to sixth form of mixed gender. The closest independent school is Oakwood School (mixed school for ages 3-11) which is due to close and be relocated to Crystal Palace, This may result in additional demand in the local area. Oakwood School is relocating in order to expand capacity, which highlights demand for private school places in the area. At the date of writing, there are more than 12 students who have made the choice to move from Oakwood School to Royal Russell Junior School as a close and convenient alternative. All the independent schools in close proximity are oversubscribed and have a waiting list of pupils.
- 6.32 Royal Russell caters for both mixed gender and offers the opportunity to progress from the nursery, through the Junior School to the Senior School. No other school in the area provides a comparable opportunity.

6.33 If the Junior School at Royal Russell did not exist, this would result in approximately 380 pupils returning to the state system, or, more likely, seeking alternative private education. The applicant states that there is a clear demand and educational need for the replacement Junior School at Royal Russell School. The proposed replacement Junior School would therefore make an important contribution to meeting the planning policy objective of paragraph 95 of the NPPF which stipulates that it is important that a sufficient choice of school places is available to meet the needs of existing and new communities. The proposed replacement school would accommodate an educational requirement within LB Croydon, and align with Local Plan Policies SP5.9 and SP5.11 which support investment in the improvement and expansion of primary and secondary schools, and the provision, enhancement and updating of pre-school facilities.

6.34 Other special circumstances

6.35 Educational support - The School provides support for disadvantaged pupils setting aside around £3.1m annually to provide pupil fee reductions such as academic scholarships and bursaries for disadvantaged pupils from Croydon, South London and beyond. The reduction allows 72 pupils whose families would have otherwise been unable to afford school fees to access Royal Russell, and their contribution greatly enriches the school community.

6.36 Royal Russell also provides significant support to enhance the education experience of children in other local schools. The school's outreach work with the local community supports and provides additional opportunities to a significant number of local children through knowledge sharing with local and international schools and the sharing of facilities such as their indoor swimming pool.

6.37 Community use - Royal Russell School plays a big part in supporting key initiatives within the Borough. This includes sharing its facilities with, and providing spaces for community organisations, fundraising events, neighbouring schools, other organisations and businesses, foundations and sports teams. The new Junior School building will provide additional facilities to share for community use, such as a drama studio, better quality classrooms for the holiday club, sports facilities and an all-weather pitch. The addition of the new Junior School will therefore enhance what is already offered by the wider School, making a significant contribution. Provision of the new Junior School will enable the School to maintain its estate and facilities, and continue its shared use of facilities with other schools and the wider community.

6.38 Employment provision and economic benefits - The School employs over 350 staff, the majority of whom live within a 10 mile commuting radius of the School, with a large number living within the London Borough of Croydon. Approximately 40 staff live permanently at the school to provide support for the 185 pupils who live as boarding pupils on the campus. The school also acts as a purchaser of goods and services from the local economy. Junior School staff numbers total 62. The improved educational offer of the replacement Junior School, and the modest increase in capacity, will help the school to fund the new Junior School building. It is important to safeguard the economic resilience and continuation of the School to help ensure that these jobs, pupil places, pupil support and support of the local economy remains, and indeed, provides for further jobs and economic growth. The provision of a new Junior School offering enhanced teaching facilities and a small number of additional pupil places is very important in ensuring the future success of the school as a whole.

- 6.39 Environmental benefits - Due to the layout, age and materials of the existing Junior School it is highly inefficient and unsustainable. The new Junior School will be significantly more sustainable, applying a whole life carbon approach and fabric first approach. The building will be constructed for longevity and durability.
- 6.40 The scheme will exceed Urban Greening Factor (UGF) requirements and will achieve biodiversity net gain. The strategy includes extensive tree planting, amenity grass, ornamental planting and native wildflower planting.
- 6.41 The proposed building will manage surface water runoff through SuDS strategies that include detention basins, filter drains, a soakaway, permeable block paving and porous asphalt.

Assessment and Conclusion

- 6.42 Condition 8 attached to planning permission 15/01323/P required a large part of the existing junior school to be demolished to enable development of boarding houses associated with the senior school on site. Whilst the reasoning for the condition was/is sound, its imposition was significantly flawed as the result is that it proposes significant limitations on the redevelopment the junior school site. The junior school cannot function if the floor area to be removed is as significant as required by the condition. It can be assumed that it was not the purpose of Condition 8 to hamper or harm the functioning of the junior school.
- 6.43 The proposal now before us seeks to re-provide an existing use. It is not proposed to significantly increase educational provision at the school. Evidence has been provided to show the existing capacity of the school. One additional classroom is proposed which will future proof and help to fund the redevelopment.
- 6.44 It is clear that the existing buildings have come to the end of their lifespan and that redevelopment needs to happen. It is also clear that the existing building does not function in a sustainable way. Evidence has been provided to show how the replacement building has been designed to current required standards for school provision and to accord with current Building Regulations and sustainability objectives. Officers therefore consider that the size of the replacement building in the Metropolitan Green Belt has been justified. Officers would welcome members views on this point.
- 6.45 The proposed development would have a significantly more compact form than the existing Junior School and layout and design has evolved via pre-application discussions to ensure the development has the least possible impact on the openness of the Green Belt as possible (further detail in this regard in the section below). The proposed layout provides excellent opportunity to improve the relationship of the Junior School with its woodland setting and to implement a comprehensive landscaping strategy which will increase urban greening, biodiversity and sustainable drainage.
- 6.46 In terms of educational need, the applicant has outlined the importance of retaining the Junior School on the established Royal Russell campus for the business and functional needs of the school. There are no other sites within the Local Plan allocated for a school use. Whilst overall there appears to be space within the state school system to accommodate the 380 pupils were the school to be lost, demand for school places in the area surrounding the school is greater. No other independent schools in the area provide educational provision for the same demographic as Royal Russell School and it is clear that demand for placements at the school are high.

- 6.47 The school has been through a rigorous pre-application process with the local planning authority. Officers have pushed the applicant hard to provide evidence of 'Very Special Circumstances'. The applicant has listened to the local planning authority and have made significant amendments to the layout and scale of the development in light of Green Belt concerns. The number of proposed classrooms have been reduced (by 4) and the massing and layout has evolved to work far more successfully with the existing topography and woodland setting (full details below).
- 6.48 Given all of the above, officers are minded, on balance, to accept the applicants justification. Officers request members views on this point.

Design, Townscape and Heritage

General

- 6.49 London Plan Policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness. Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape.
- 6.50 In the assessment of this proposal, officers and the applicant have always been very mindful of the Green Belt and woodland setting of the site. The Junior School is surrounded on three sides by extensive woodland and greenery which has driven the design evolution of the development.

Layout

- 6.51 The position of the proposed new building has been driven by:
1. The necessity to preserve the openness of the Green Belt – The applicant has undertaken an assessment of other locations within the campus that could potentially accommodate the Junior School. Officers considered that siting the building on other undeveloped areas within the campus would have a more detrimental impact on the setting and openness of the Green Belt than redevelopment of this existing brownfield site.
 2. In order to enable the existing Junior School to be able to function whilst the new school is being constructed, the positioning and layout of the new building has been largely dictated by the remaining already developed brownfield area. The building is proposed to be largely located over existing hard surfaced playground areas and in place of the existing medical centre which will be demolished this summer.
- 6.52 Whilst this restricted location presents a challenge and in many ways inhibits the redevelopment of the site, it has also resulted in a building that has a significantly more compact form than the existing structures on site. A significant benefit of this is the landscape enhancements that can be made around the building. This is considered to be beneficial in terms of impact on the openness of the Green Belt.
- 6.53 The smaller available footprint has however also presented the challenge of creating a building that does not have a more dominant and visible presence within the Green Belt

setting in terms of height and presence. Whilst the siting of the proposed building has largely remained in a similar position throughout the pre-application process, its massing and form have been significantly altered, to reduce the height of the structure and to create a building that responds to the nature topography of the site.

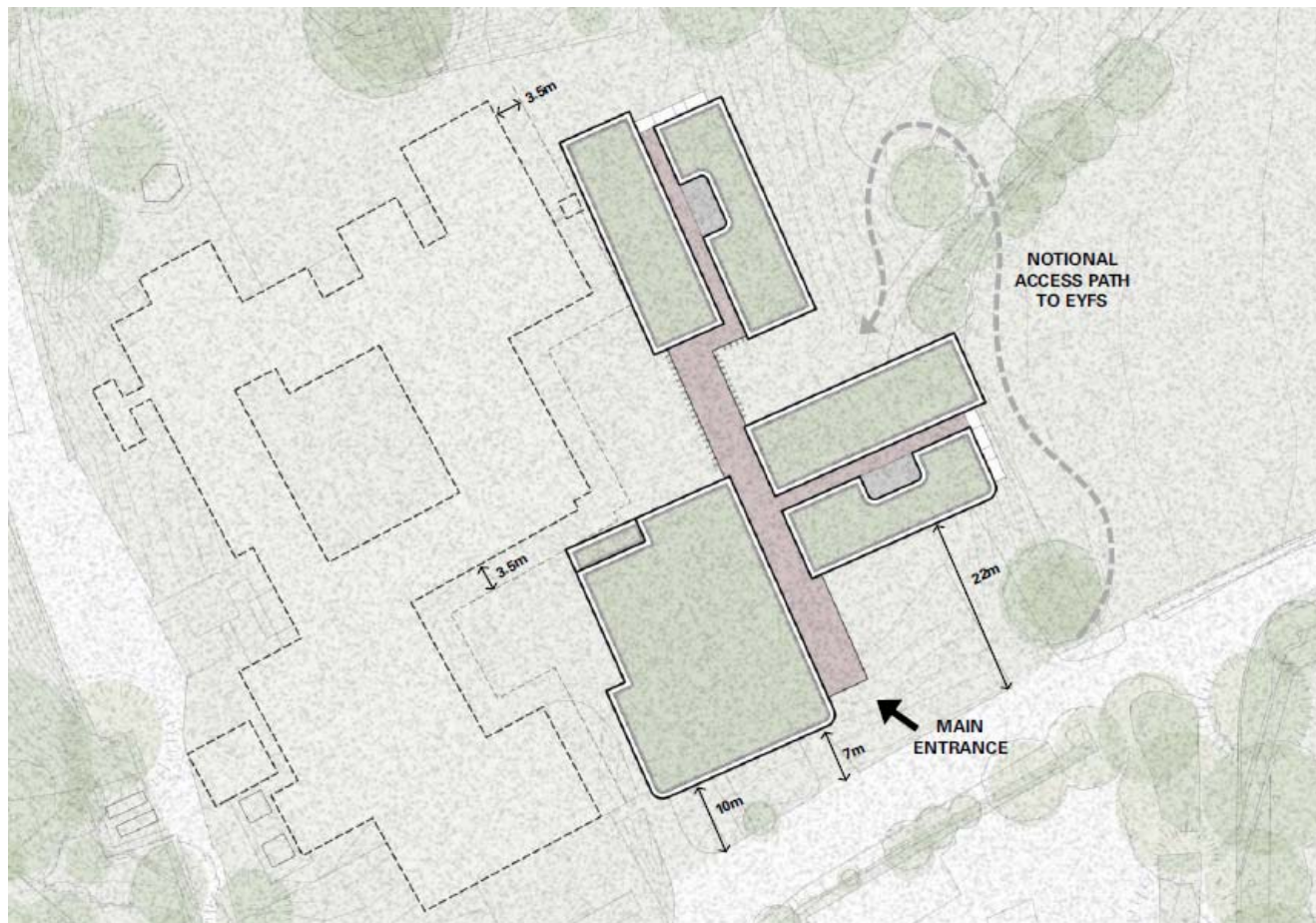


Figure 6: Proposed site layout

6.54 The drawing above shows how constructing the new building towards the eastern portion of the Junior School site will enable the current school to remain operational during the construction phase. Once built and operational, all of the existing structures on the Junior School site will be demolished (the dashed buildings on the drawing). The western part of the site will then become a larger landscaped playground, which will present a huge improvement over the current fragmented hardstanding play areas of the Junior School (landscaping discussed below).

6.55 The relationship of the proposed Junior School to the approach road is similar in scale and distance to the existing built form. There is a distance of over 120m from the development to the school access point, which provides the only view of the building from within the public realm.

6.56 The proposed built form has been broken down into 3 distinct blocks which are interconnected through a main spinal circulation route, and these blocks work with the topography of the site. Officers consider that breaking the building mass up has helped to limit to visual presence of the building from the site access.

6.57 The layout means that the Junior Schools relationship with the rest of the school campus is not altered. The access road and parking area is unaffected.

Massing

- 6.58 As noted above, the proposed built form has been broken down into 3 distinct blocks which are interconnected through a main spinal circulation route. The northern block hosts the nursery and reception groups (Early Years) at ground floor level, with Year 3 and 4 (Key Stage 2) classrooms above. The more central block hosts Key Stage 1 (Years 1 and 2) classrooms at ground floor level with Years 5 and 6 above (Key Stage 2). The southern most block along the access road offers the administrative function, and shared educational spaces (gym, dining hall, library, science and art rooms, staff areas, kitchen, plant etc).
- 6.59 Building heights across the school campus are generally two to three-storey. The proposed building is part two/part three storey and therefore the proposed building is entirely consistent with the rest of the site in terms of height. The massing form has been arranged to align towards the topography, positively using the level change and stepping down in height to the rear of the site. The main building frontage appears as a two storey mass, the lower level concealed by the change in level. The additional blocks then fall with the ground level, appearing as lower and more subservient elements of the overall built form.

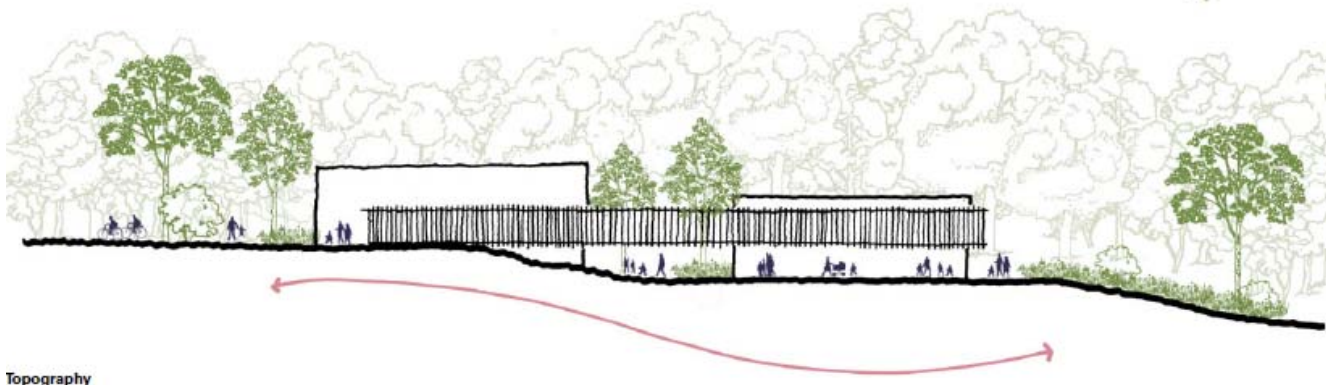
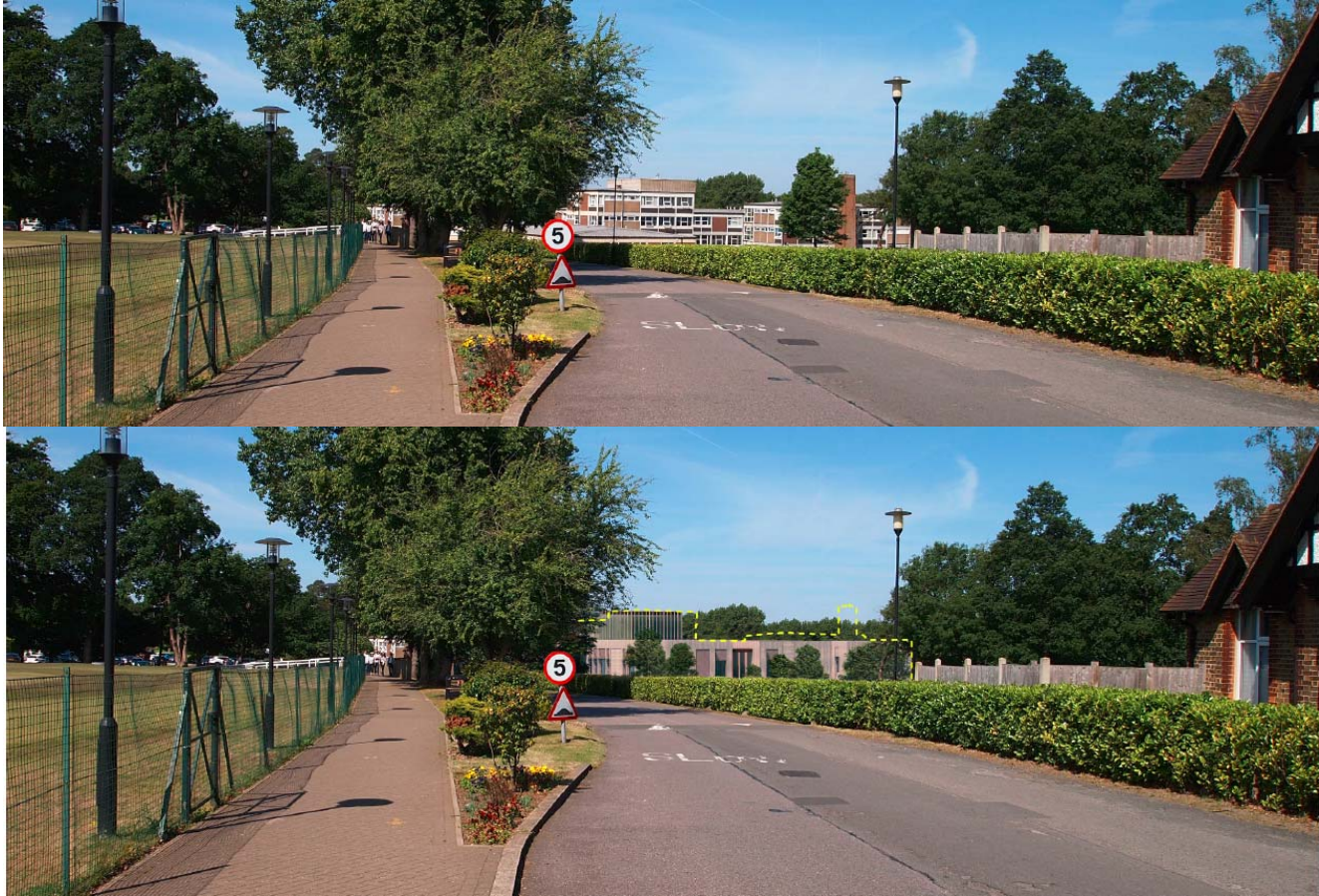


Figure 7: Topography

- 6.60 Officers are of the opinion that breaking the massing down into the 3 blocks, and effectively utilising the level change of the site, reduces the impact of the massing when read from the entrance gate and from views from the north. The massing strategy prevents the building from appearing monolithic in mass which is felt to lessen the impact on the natural Green Belt setting. The overall height allows views of the woodland to be seen behind the built form which helps the building to nestle into the green setting of the campus.
- 6.61 It is noted that there will be some excavation required to achieve the level changes as indicated. Officers have asked for the level of excavation to be quantified and evidenced through drawings, and an excavation strategy.



*Figure 8: Comparative Photomontage - Approach Road View.
Top image: Existing. Bottom image: Proposed*

6.62 When viewed from the playground area to the west of the site (see Figure 9 below), it can be seen how the building steps down in level towards the woodland to the rear.



Figure 9: Proposed view from main playground (to the west of the site)

6.63 The central spinal circulation bridge along with the step back of the eastern block, serves well to provide a legible and notable building entrance, which is welcomed. The entrance also provides a linear contrast from the main blocks, which works well to separate the massing.



Figure 10: proposed view of school entrance

6.64 Further back within the site, the central spinal circulation bridge offers a break at ground floor level which, again breaks up the massing, and provides a connection between the east and west playgrounds (see Figures 7 and 9 above).

6.65 The existing buildings on the school campus comprise a series of connected rectilinear forms composed to an orthogonal geometry (see Figure 11 below). The proposed new buildings follow this strategy. There are also examples of historic buildings that comprise rounded building corners to soften their appearance, for example the Chapel as shown in Figure 12 below. This approach has been utilised to soften the appearance of the built form. Given the woodland setting, and the fact that the building is for younger children, officers consider this approach is successful. The buildings appearance is softened and welcoming, and provides a gentle edge against the landscape setting beyond.



Figure 11: Main school campus built form



Figure 12: Rounded features to Chapel, with Great Hall to the left and Dining Hall to the right

Architectural Expression

- 6.67 The current buildings on the school site are limited in materiality. They are typically two-tone using red brick with ashlar stone facings (as can be seen in Figures 11 and 12 above). This strategy is used for the proposed Junior School. The external materials predominantly comprise brick and timber.
- 6.68 The three main blocks are defined by brickwork comprising of two tones. The blocks are divided by the horizontal datum point, with a darker hue represented along the lower portions which are designated to show the split in ground level and topography. The scheme has taken a tonal shift from the red brick seen on the existing buildings on site, to more desaturated tones to reflect the natural woodland setting of the Junior School. It is considered that these more nature tones are successful in reducing massing elements and also compliment the natural backdrop.
- 6.69 Accents of timber have been used to form the circulation spine and some cladding. The use of the material is considered to be very successful, resonating with the woodland surrounding the new building. The material is an effective tool which softens the façades and complements the Green Belt setting. The timber along the building entrance point and canopy over indicate a clear and warm entry point to the building. The green roof over the canopy would further enhance this entrance and is encouraged. Officers have also encouraged the applicant to explore the potential of this entrance area to provide opportunities for artwork installations.
- 6.70 Recessed features around the windows and openings align with features present in other buildings within the campus. These features break up the mass of the built form and add visual interest. Timber treatment is also provided to some fenestration and timber brise soleil provided to create shade for the internal areas. Officers have requested additional information in this regard, to ensure the brise soleil are integrated with the main built form.



Flemish bond brickwork in warm and light tone as the primary external material



Vertical stack bond brickwork to parapet, above and below windows, and special areas of interest



Warm timber treatment to the central spine, rear of the front block and window details



Timber fins in front of glazing to provide operable vents and solar shading



Architectural masonry in pink tone to the lower ground floor areas



Biodiverse green roof



Brise soleil to teaching space external glazing

Figure 13: Proposed materiality

6.71 At this point, there are some features that officers consider work less successfully and have asked the applicant to progress. The main front block, when viewed from the south west (from the main school campus) should also have a strong visual presence, and read as a main building frontage. The building from this view (as can be seen in Figure 14 below) has a more 'back of house' appearance, e.g. a partly blank façade, faux window brick detailing, less uniformity to fenestration. This is a key view of the building for all users of the site and as such should be treated as such. The rationale of this elevation needs to be improved.



Figure 14: Proposed view from south west (from main school buildings)

6.72 It is also felt that greater attention needs to be paid to the transition between the front block and the timber clad elements, from linear form to curved form (i.e. as can be seen in Figure 9 of the proposed view from main playground (to the west of the site). The relationship between forms will be integral to the success of the cohesiveness of the overall building.

Summary

6.73 In summary, the layout, massing and architectural expression has seen ongoing development and officers have been working extensively with the applicants in design workshops/pre-application meetings. Officers are satisfied with the layout and massing approach to the proposed development and the general approach to form and appearance. There are some areas that need further progression and refinement. Officers would welcome Members views on the massing and architectural approach so far.

Public Art

6.74 In order to enhance and express local character, Local Plan Policy DM14 requires all major schemes to include public art that creates local distinctiveness and reinforces a sense of place, responds to local character, makes a positive contribution to the public realm and engages the local community in its creation.

6.75 The applicant has expressed that there are several ways that this could be achieved e.g. school motif/create on the new building, use of stained glass windows (as can be found in some historic buildings on site), a new sculpture representing history of the site.

6.76 Officers note that there is an exciting opportunity to incorporate something successful and unique into the submission that would enhance the scheme. A public art strategy should accompany any submission and the earlier that this is considered the more successful it will be.

Heritage

- 6.77 The Planning (Listed Buildings and Conservation Areas) Act 1990 requires (at section 66) with respect to listed buildings, that special regard is paid to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Local Plan Policy SP4 requires developments to respect and enhance heritage assets. Policy DM18 of the Local Plan permits development affecting heritage assets where the significance of the asset is preserved or enhanced. Policy DM18.7 states that substantial weight will be given to conserving and enhancing landscape features or planting that makes a positive contribution to the special historic character and original layout of Registered and Locally Listed Historic Parks and Gardens.
- 6.78 The entire school site is a Locally Listed Historic Park and Garden. The Main Lodge of the school (approximately 100m to the north of the junior school site separated by woodland) and part of the main school building (within the main school complex, almost 200m to the south west of the junior school site) are on the Council's Local List of buildings of Architectural or Historic Value. Old Ballards Cottage to the far south of the school campus is a Grade II statutorily listed building (over 300m from the Junior School site). The existing Junior School complex itself contains no buildings of historic significance.
- 6.79 Given that the closest buildings of historic merit are well separated from the proposed development site, in terms of distances and by woodland and existing built form, it is considered that the significance of the surrounding heritage assets would be preserved by the proposed development.
- 6.80 In terms of impact on the Locally Listed Historic Park and Garden, the majority of the proposed development will be situated over existing brownfield land. The proposal may lead to the removal of 3 trees however will also see extensive new planting provided. Further details with regard to landscaping and trees are fully discussed in the section below.
- 6.81 Officers require a Heritage Assessment to be submitted as part of the formal planning submission. This assessment must demonstrate how the proposal accords with the requirements of the above-mentioned policies.
- 6.82 The site is within an Archaeological Priority Zone. An Archaeological Assessment must be submitted as part of any formal application and Historic England will be consulted.

Trees, Landscaping and biodiversity

Trees

- 6.83 The whole of the Royal Russell Campus is a Locally Listed Historic Park and Garden. The site largely comprises woodland, and extensive areas of woodland are located directly to the north and west of the Junior School area. The site is subject to 2no. Tree Preservation Orders (TPO 27, 1970 and 27, 2014), however neither relate to trees which are close to the Junior School site.
- 6.84 In order to facilitate the development, 3no. trees have been identified for removal – Trees T1 (C.2), T10 & T11 (B.2). The category B trees are self-seeded sycamores. T11 is required to be removed to create a compliant access to the school building in terms of

gradient (i.e. as a result of required level changes). Officers share concerns over the removal of mature trees, and whilst the applicant intends to plant new trees across the development, officers expect that retention or relocating of the trees should be explored in the first instance, which is currently not evidenced.



Figure 15: Potential tree Removals

Landscaping

6.85 A notable positive of the proposal is that there is scope to provide significant enhanced landscaping in and around the Junior School site. This is aided by the more compact form of the proposed building in comparison to the existing built form.

6.86 Key landscaping goals as set out by the applicant are:

- The retention of the existing woodland
- To stitch the buildings into their context – repairing the green infrastructure connections
- To weave nature between and around the new buildings - proposals will bring landscape up to the edge and between the buildings.
- The creation of learning environments set within nature
- To create an environment where the buildings disappear into the landscape
- Buildings, landscape and topography working together

- Inclusion of SuDS where levels allow
- Tree planting – a net gain in trees is proposed.

6.87 The landscape design strategy is currently reflected through concept design strategies and illustrated through precedent studies and initial plan layouts. The key principles driving the concepts are the repairing of green infrastructure through landscaped routes woven through the building forms, the maximising of opportunities for play and natural surveillance, creation of external nature-based learning environments etc

6.88 It is felt that whilst the initial scheme concept principles appear to initially correlate appropriately to the site context, harbouring nature-based SUDS, nature-based play and education etc, the application relies critically on the details being developed successfully and in synchronisation with the remainder of the architecture strategy, and primarily topographical approaches. This is yet to be evidenced and a holistic design developed for appropriate review accordingly. From initial review, the plan and precedents appear to have defined routes and boundaries, and it is felt it should be as integrated as possible.

6.89 London Plan Policy G5 states that major development proposals should contribute to the greening of London by including urban greening as a fundamental element of site. This scheme should achieve a target score of 0.3. The applicant has commented that the scheme will achieve an urban Greening factor (UGF) of around 0.5, significantly exceeding the minimum value of 0.3. The UGF of the existing school is 0.16. The proposed urban greening strategy includes extensive tree planting, amenity grass, ornamental planting and native wildflower planting.

6.89 Challenges will be in providing a landscaping strategy that is suitable for the school use, addressing the functionality of the building and maintenance issues. A Multi Use Games Area (MUGA) is proposed to the western side of the site and it will be important for this area to be suitably screened/softened within the wider woodland and Green Belt setting.



Figure 16: Illustrative landscaping masterplan

Biodiversity

6.90 Much of the school campus is within a Site of Nature Conservation Importance. The junior school site itself is not within this designation however the land surrounding the site is. The site immediately abuts woodland and the site itself contains mature trees. The applicant undertook a Preliminary Ecological Appraisal of the Site in 2022 which summarised the following:

Habitat:

The site is comprised of hardstanding, buildings, amenity grassland, broadleaved woodland, and scattered trees. All the habitats except woodland and scattered trees are of low to negligible ecological value. The woodland habitat is priority habitat and as such is of high value. Any loss of this habitat would be required to deliver mitigation that goes above and beyond like-for-like replacement.

Protected species:

- Bats – The Preliminary Roost Assessment (PRA) identified that one of the existing school buildings had low bat roost potential. A bat emergence survey was undertaken in June 2022 of the building, no roosts were identified during the survey and no bat activity was noted throughout the survey. Two trees were identified as having low bat

roost potential, should these trees be affected by the proposals and need to be felled, then this will need to be undertaken using soft felling.

- Badger - Little suitable habitat for badger was identified within the site. Signs of badger were located adjacent to the site. Due to the mobile nature of this species and that they can readily establish new setts, an updated badger survey would be required no more than three months prior to construction.
- Great Crested Newts (GCN) - Within the wider School grounds a low population GCN have been recorded in a pond 100m to the west of the Junior School building, during surveys in 2018. The pond is separated from the site by hardstanding, buildings, fencing and amenity grassland. The proposals will result in the loss of hardstanding, buildings, amenity grassland and scattered trees, and therefore would not be affecting any suitable habitat for the species. The pond and surrounding suitable habitat are not to be affected within the current proposals, thus it is thought that development of the Junior School building would be unlikely to cause an offense and no license or further surveys would be required. Following a precautionary approach, any ground features such as log piles that are to be disturbed during the works should undergo, in line with best practice guidelines, a destructive search by an ecologist.
- Reptiles - Proposals will result in the disturbance of habitats with limited suitable for reptile's habitat, including long sward amenity grassland and a log piles. Precautionary mitigation measures will be implemented, including habitat manipulation of grassland and destructive search of any features suitable for reptiles to shelter to ensure that reptiles are safely removed from the Site.

6.91 The survey work has not yet been shared with the local planning authority. It is expected that the surveys alongside an updated badger survey and Biodiversity Net Gain report (see below) will be submitted as part of the formal application. The Council's Ecological Consultant will assess the submitted information against legislative and policy requirements.

6.92 The NPPF and London Plan Policy G6 require that any development seeks to provide biodiversity net gain. Such details will need to be worked through as the scheme progresses and must be integrated into the scheme. Full details will be required at application stage.

6.93 At this stage the applicant has stated that Biodiversity Net Gain (BNG) will also be achieved and a BNG Report will be submitted with the planning application. The proposed playground, while providing age-appropriate play space for pupils, will also offer a positive increase in biodiversity through the addition of new woodland with wildflower understory, new ornamental planting to benefit wildlife species and new trees.

Functionality of the new building

6.95 The applicants design team have worked closely with the school to develop a building that meets their functional needs and adhere to current required standards and regulations.

6.96 The proposed lower ground floor plan of the Junior School is divided into two distinct volumes. The northernmost block is sited amongst the woodland and accommodates the Nursery and Reception classrooms with dedicated external areas and entrance. The

landscape is intended to flow around the building to provide a fluid teaching environment with direct access from the classrooms to the external play areas. The main circulation spine takes the form of a bridge above, providing covered access to the remainder of the school.

- 6.97 To the south, the years 1 and 2 classrooms are arranged as a Key Stage 1 cluster and also have direct access to dedicated KS1 outdoor play areas. The music classroom and gymnasium are also located on this level where it benefits from direct external access to exterior play space and sport court.
- 6.98 The ground floor is accessed from a clearly defined single-story entrance which leads to the school's main circulation spine, following the topography of the site and flowing down to the lower ground floor and exterior play space via a gathering staircase. Views down into the gymnasium on the level below and breaks between the building volumes along the bridge offer glimpses of the surrounding landscape. The main visitor reception, administration offices and meeting room are located to the front of the school, in close proximity to the main entrance, while Key Stage 2 teaching clusters (years 3-4 and years 5-6) to the east and north benefit from having an outlook into the surrounding woodland. To the west, the dining hall opens out into an exterior dining space and the playground beyond.
- 6.99 An open stair flows up and over the gathering stair and provides access from the main circulation spine up to the first floor, which has been significantly reduced in area from previous proposals. The library is located at the heart of this upper level, with expansive views towards the east. Also located on this floor are the specialist science lab and art / design technology studio, as well as the staff common room with a secluded roof terrace overlooking the playground.
- 6.100 Externally, whilst full details are to be provided, playspaces for the nursery, reception and KS1 year groups are located directly outside of the classrooms. Level changes, low level fencing and planting will separate early years provision from the older year groups. Spaces will be provided to enable external dining, teaching areas and amphitheatres. A MUGA is proposed which will provide required facilities for formal sports. The site will maintain its existing good links to the existing forest school to the west and adventure play area to the north.
- 6.101 In terms of access, direct visitor and staff access will be provided via the main entrance to the front. Segregated access is provided for deliveries and servicing to the western end of the frontage. A new footpath via a ramped woodland walk is proposed to be provided to the nursery and reception area.
- 6.102 Inclusive design – London Plan Policy S3 seeks to ensure that education facilities are accessible and inclusive for a range of users, including disabled people, by adopting an inclusive design approach, this includes internal and outdoor space. This should be demonstrated as part of the submission going forward.

Impact on Adjoining Occupiers Living Conditions

- 6.103 Given the significant separation distances to adjacent neighbours properties, it is not considered that the proposals will cause any harm to the amenity of any residential property way of causing any loss of light, outlook or privacy. No additional environmental impacts are expected to be created e.g. noise or light pollution. The scheme proposes the potential for 20 more pupils to be accommodated at the school and when considering

the current 910 pupil capacity across the whole school, the increase is not expected to create any undue cumulative impacts.

6.104 Third party comments received on any formal application will need to be considered as part of any future scheme assessment.

Highways and Transportation Matters

6.105 The site is entirely accessed from Coombe Lane. At the entrance point, the site has a Public Transport Accessibility Level (PTAL) of 2, Coombe Lane tram stop is approximately 160m from the school entrance (3 minute walk). This tram runs to new Addington and Wimbledon (via Croydon).

6.106 The proposal will increase capacity from 380 pupils to 400 pupils. At this stage, no alteration to the access (at the highway junction or within the site) or parking arrangements are proposed as part of the works.

6.107 As part of the submission the applicant will submit a Transport Statement, Travel Plan, Delivery & Servicing Plan and an Outline Construction Logistics Plan. Discussions in terms of transport impacts are ongoing with officers.

6.108 To date, the applicants transport consultant has undertaken a review of existing travel habits of junior school children. The results of the travel survey demonstrate that around 72% of junior school children are brought to school by car. This would equate to 14-15 additional cars as a result of the uplift in capacity. Given that a high percentage of pupils do arrive by car, the Council has requested that a survey of the junction is undertaken to show current junction movements and an assessment of movements with the increased car movements. This assessment is in progress.

6.109 A Travel Plan will be prepared and submitted to encourage sustainable travel. The school already operates a comprehensive Travel Plan which applies to the junior and senior schools and travel surveys are undertaken regularly.

6.110 Cycle parking will be provided for the junior school albeit the nature of the local road network means that cycling by junior school children is not particularly common. It will be required that cycle parking provision is to London Plan policy requirements/standards. Details will be required to be provided as part of the formal submission.

6.111 Deliveries and servicing details will be provided. Waste is collected from the junior school each day, and transferred to a central location for the whole site. There will be no change proposed to this strategy. All deliveries are received centrally, there will be no material change in the number of deliveries received as a result of the development. The Delivery & Servicing Plan will include initiatives to encourage consolidation of deliveries to minimise the number of journeys made to the school.

6.112 The Outline CLP will include a plan illustrating the location construction vehicles will stop to serve the site, swept path analysis for construction vehicles, regional and local routing plans, and an estimation of numbers of vehicles. This will be reviewed by the Council's Highways Team, and the applicant is encouraged to discuss this with the team at the earlier possibility.

6.113 Transport for London may have further requirements. They will be involved as part of the pre-application discussion with the GLA which is due to take place on 16th May 2023.

Environment

Building performance

6.114 All major development, such as this, should be net zero-carbon in accordance with the London Plan energy hierarchy of Be Lean; Be Clean; Be Green and Be Seen. A minimum on-site reduction of at least 35 per cent beyond Building Regulations is required and if zero carbon is not met a cash in lieu contribution is required. Major development proposals should calculate and minimise carbon emissions from any other part of the development, including plant or equipment, that are not covered by Building Regulations, i.e. unregulated emissions. The applicant will need to submit an Energy Strategy to demonstrate how the zero-carbon target will be met within the framework of the energy hierarchy.

6.115 As this scheme will be referable to the Mayor of London, the whole life-cycle carbon emissions should be calculated through a nationally recognised Whole Life-Cycle Carbon Assessment and demonstrate action taken to reduce life-cycle carbon emissions. As a GLA referable scheme it will also need to include a Circular Economy Statement that aims to be net zero-waste. Heat Risk needs to be managed and water consumption restricted. How this will be done will need to be demonstrated at application stage.

6.116 The applicant has commented that the compact form of the proposed building is not only organisationally more efficient, but will also be more efficient from an environmental perspective. The proposed Junior School will apply a whole life carbon approach, reducing both operational and embodied carbon. The principles of Passivhaus design will be applied with a fabric first approach. Best practice measures with regards to embodied carbon will be integrated. The proposed Junior School will be combustion free with an all-electric system providing both space heating and hot water demand. The roof space will be maximised for onsite renewable energy generation via PV panels. The building will be constructed for longevity and durability to minimise the potential of future demolition.

6.117 These elements are still being developed and further detail will be known when the scheme is advanced. The scheme should be able to meet the policy requirements.

Flooding

6.118 The site is largely at low risk of surface water flooding, however there are areas around the junior school (including the area where the new building is proposed) that are at 1 in 1000 year risk. The site has limited potential for ground water flooding to occur.

6.119 London Plan Policy SI 13 requires development proposals to aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible. There should also be a preference for green over grey features, in line with the drainage hierarchy. Drainage should be designed and implemented in ways that promote multiple benefits including increased water use efficiency, improved water quality, and enhanced biodiversity, urban greening, amenity and recreation.

6.120 To date, the applicant has commented that surface water run-off will be managed through SuDS strategies such as filter drains, a soak-away, permeable block paving and

porous asphalt. As noted in the landscaping proposals, there are opportunities for SuDs features to provide educational opportunities and play, such as use of planting beds as rain gardens.

- 6.121 A site-specific Flood Risk Assessment proportionate with the degree of flood risk posed to and by the development, taking account of the advice and recommendations within the Council's Strategic Flood Risk Assessment and Surface Water Management Plan, is required. This will be assessed by the Lead Local Flood Authority.

Air Quality

- 6.122 The whole of Croydon Borough has been designated as an Air Quality Management Area (AQMA). To accord with Policy SI 1 of the London Plan, an Air Quality Assessment will need to be submitted with any application. This will need to demonstrate that the proposal will not lead to further deterioration of existing poor air quality. Development proposals must be at least air quality neutral and should use design solutions to address local problems of air quality.

Other Matters

- 6.123 Fire Safety - In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety. London Plan Policy D12 requires all major development proposal to be submitted with a Fire Statement, produced by a third party, suitably qualified assessor, to demonstrate how the development will function in terms a number of fire safety criteria.
- 6.124 Both the NPPF and London Plan Policy seeks to create safe, secure and appropriately accessible environments where crime, disorder and fear of crime do not undermine the quality of environment. Any future application should be mindful of Secured by Design principles and improve natural surveillance / lighting of the area. It is recommended that the applicant instigate discussions with the Metropolitan Police Designing Out Crime Officer for Croydon.
- 6.125 In line with Policy DM16 of the Croydon Local Plan (2018) a Health Impact Assessment will need to be submitted with the planning application.

Mitigation

- 6.126 At this stage it is envisaged that planning obligations will be required to mitigate the impacts. Discussions are progressing in relation to the Heads of Terms, but it is anticipated that these would include the following (this is not an exhaustive list):
- Employment and training contributions and obligations (construction/operational)
 - Air Quality contribution
 - Zero carbon offset (if required)
 - Sustainable transport contributions (if required)
 - Travel Plan
 - Transport for London contributions (if required)
 - Retention of scheme architects
 - Public Art
 - Relevant monitoring fees

7 SPECIFIC FEEDBACK REQUESTED

7.1 In view of the above, it is suggested Members focus on the following issues:

1. The principle of the scale of the proposed development in the Green Belt, with specific consideration of the implications of Condition 8 imposed on planning permission 15/01323/P.
2. The location of development and the massing across the site.
3. The design, appearance and materiality of the building
4. Landscaping and ecological gain

8 PROCEDURAL MATTERS

8.1 The applicant has submitted a pre-application to the GLA for an initial opinion on the proposals. The meeting is due to take place on the 16th May 2023 and Officers will be present at this meeting. The comments made by the GLA will be noted by officers and summarised in an addendum in advance of the committee meeting.

PLANNING COMMITTEE AGENDA

PART 6: Planning Applications for Decision

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning applications for determination by the Planning Committee.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 Any item that is on the agenda because it has been referred by a Ward Member, GLA Member, MP or Resident Association and none of the person(s)/organisation(s) or their representative(s) have registered their attendance at the Town Hall in accordance with the Council's Constitution (paragraph 3.8 of Part 4K – Planning and Planning Sub-Committee Procedure Rules) the item will be reverted to the Director of Planning and Strategic Transport to deal with under delegated powers and not be considered by the committee.
- 1.4 The following information and advice applies to all reports in this part of the agenda.

2 MATERIAL PLANNING CONSIDERATIONS

- 2.1 The Committee is required to consider planning applications against the development plan and other material planning considerations.
- 2.2 The development plan is:
 - the London Plan (2021)
 - the Croydon Local Plan (2018)
 - the South London Waste Plan (2022)
- 2.3 Decisions must be taken in accordance with section 70(2) of the Town and Country Planning Act 1990 and section 38(6) of the Planning and Compulsory Purchase Act 2004. Section 70(2) of the Town and Country Planning Act 1990 requires the Committee to have regard to the provisions of the Development Plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires the Committee to make its determination in accordance with the Development Plan unless material planning considerations support a different decision being taken. Whilst third party representations are regarded as material planning considerations (assuming that they raise town planning matters) the primary consideration, irrespective of the number of third party representations received, remains the extent to which planning proposals comply with the Development Plan.
- 2.4 Under Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects listed buildings or their settings, the local planning authority must have special regard to the desirability of preserving the building or its setting or any features of architectural or historic interest it possesses.

- 2.5 Under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990, in considering whether to grant planning permission for development which affects a conservation area, the local planning authority must pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area.
- 2.6 Under Section 197 of the Town and Country Planning Act 1990, in considering whether to grant planning permission for any development, the local planning authority must ensure, whenever it is appropriate, that adequate provision is made, by the imposition of conditions, for the preservation or planting of trees.
- 2.7 In accordance with Article 31 of the Development Management Procedure Order 2010, Members are invited to agree the recommendations set out in the reports, which have been made on the basis of the analysis of the scheme set out in each report. This analysis has been undertaken on the balance of the policies and any other material considerations set out in the individual reports.
- 2.8 Members are reminded that other areas of legislation covers many aspects of the development process and therefore do not need to be considered as part of determining a planning application. The most common examples are:
- **Building Regulations** deal with structural integrity of buildings, the physical performance of buildings in terms of their consumption of energy, means of escape in case of fire, access to buildings by the Fire Brigade to fight fires etc.
 - Works within the highway are controlled by **Highways Legislation**.
 - **Environmental Health** covers a range of issues including public nuisance, food safety, licensing, pollution control etc.
 - Works on or close to the boundary are covered by the **Party Wall Act**.
 - **Covenants and private rights** over land are enforced separately from planning and should not be taken into account.

3 **ROLE OF THE COMMITTEE MEMBERS**

- 3.1 The role of Members of the Planning Committee is to make planning decisions on applications presented to the Committee openly, impartially, with sound judgement and for sound planning reasons. In doing so Members should have familiarised themselves with Part 5D of the Council's Constitution 'The Planning Code of Good Practice'. Members should also seek to attend relevant training and briefing sessions organised from time to time for Members.
- 3.2 Members are to exercise their responsibilities with regard to the interests of the London Borough of Croydon as a whole rather than with regard to their particular Ward's interest and issues.

4. **THE ROLE OF THE CHAIR**

- 4.1 The Chair of the Planning Committee is responsible for the good and orderly running of Planning Committee meetings. The Chair aims to ensure, with the assistance of officers where necessary, that the meeting is run in accordance with the provisions set out in the Council's Constitution and particularly Part 4K of the Constitution 'Planning and Planning Sub-Committee Procedure Rules'. The Chair's most visible responsibility is to ensure that the business of the meeting is conducted effectively and efficiently.
- 4.2 The Chair has discretion in the interests of natural justice to vary the public speaking rules where there is good reason to do so and such reasons will be minuted.

- 4.3 The Chair is also charged with ensuring that the general rules of debate are adhered to (e.g. Members should not speak over each other) and that the debate remains centred on relevant planning considerations.
- 4.4 Notwithstanding the fact that the Chair of the Committee has the above responsibilities, it should be noted that the Chair is a full member of the Committee who is able to take part in debates and vote on items in the same way as any other Member of the Committee. This includes the ability to propose or second motions. It also means that the Chair is entitled to express their views in relation to the applications before the Committee in the same way that other Members of the Committee are so entitled and subject to the same rules set out in the Council's constitution and particularly Planning Code of Good Practice.

5. PROVISION OF INFRASTRUCTURE

- 5.1 In accordance with Policy 8.3 of the London Plan (2011) the Mayor of London has introduced a London wide Community Infrastructure Levy (CIL) to fund Crossrail. Similarly, Croydon CIL is now payable. These would be paid on the commencement of the development. Croydon CIL provides an income stream to the Council to fund the provision of the following types of infrastructure:
- i. Education facilities
 - ii. Health care facilities
 - iii. Projects listed in the Connected Croydon Delivery Programme
 - iv. Public open space
 - v. Public sports and leisure
 - vi. Community facilities
- 5.2 Other forms of necessary infrastructure (as defined in the CIL Regulations) and any mitigation of the development that is necessary will be secured through A S106 agreement. Where these are necessary, it will be explained and specified in the agenda reports.

6. FURTHER INFORMATION

- 6.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

7. PUBLIC SPEAKING

- 7.1 The Council's constitution allows for public speaking on these items in accordance with the rules set out in the constitution and the Chair's discretion.

8. BACKGROUND DOCUMENTS

- 8.1 The background papers used in the drafting of the reports in part 6 are generally the planning application file containing the application documents and correspondence associated with the application. Contact Mr P Mills (020 8760 5419) for further information. The submitted planning application documents (but not representations and consultation responses) can be viewed online from the Public Access Planning Register on the Council website at <http://publicaccess.croydon.gov.uk/online-applications>. Click on the link or copy it into an internet browser and go to the page, then enter the planning application number in the search box to access the application.

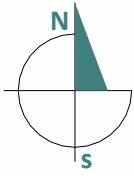
9. RECOMMENDATION

- 9.1 The Committee to take any decisions recommended in the attached reports.

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Status: **Planning Application**

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Rev.	Description	Date
A	Pre-Planning Submission Issue	27/09/2022
B	Planning Submission	Sept 2022



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 <p>www.addodesignltd.com admin@addodesignltd.com</p>	<p>Client: Mr Martyn Avery</p> <p>Project: Land at: 34, 34A and 34B Arkwright Road Sanderstead</p>	<p>Title: Site Location Plan</p> <p>Scale: 1 : 1250 @ A4 Date:</p>
	<p>Drg No: pl 20-540 - 01</p>	<p>Rev: B</p>

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PART 6: Planning Applications for Decision

Item 6.1

1 APPLICATION DETAILS

Ref: 22/04130/FUL
Location: 34A, 34B And Rear Of 34 Arkwright Road, CR2 0LL
Ward: Sanderstead
Description: Demolition of existing dwellinghouses at 34a and 34b Arkwright Road and the construction of 9 dwellinghouses 3-4 storeys in height together with associated parking, access and landscaping
Applicant: Mr Martyn Avery
Case Officer: Mr Hoa Vong

Drawing Nos:Plans

PL 22-640 – 02 Rev B; PL 22-640 – 17 Rev A; PL 22-640 – 16 Rev A; DR 22-640 – 19 Rev A; DR 22-640 – 18 Rev A; pl 20-540- 01 Rev B; PL 22-640 – 42 Rev A; 1809018-TK19; 1808018-TK17 Rev B; PL 22-640-03- REV E; PL 22-640-04- REV E; PL 22-640-05- REV D; PL 22-640-06- REV D; PL 22-640-07- REV D; PL 22-640-08- REV F; PL 22-640-09- REV E; PL 22-640-10- REV B; PL 22-640-11- REV B; PL 22-640-12- REV B; PL 22-640-13- REV B; PL 22-640-14- REV B; PL 22-640-15- REV B; PL 22-640-20- REV E; PL 22-640-22- REV E; PL 22-640-23- REV E; PL 22-640-35- REV E; PL 22-640-36-REV C; PL 22-640-37-REV B; PL22-640-38-REV B ; PL22-640-39-REV B; PL22-640-40-REV B; PL22-640-41-REV B; PL22-640-43; AKJH.22-015-1 and PL 22-640 – 21 Rev B.

Documents

Planning, Design and Access Statement (February 2023 Addo); Arboricultural Impact Assessment and Method Statement Rev E (September 2022 Canopy Consultancy); Highways Technical Note (4 October 2022 Motion); Surface Water Drainage Technical Note (4 October 2022 Mayer Brown); Tree Protection Plan (12 September 2022 Canopy Consultancy); Updated Ecological Impact Assessment (11 August 2022 Darwin Ecology); Biodiversity Net Gain Assessment (October 2022 Darwin Ecology); Energy Statement (September 2022 Bryenergy Services); Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment (28 July 2019 Arbeco); Fire Strategy (April 2023) and Badger Report (13 January 2021 Greenspace Ecological Solutions).

Housing Mix					
Size (bedrooms)	1	2	3	4+	TOTAL
Existing (market)	-	-	2	-	2
Proposed (market)	-	-	-	7	9
TOTAL	-	-	-	7	9

Vehicle and Cycle Parking (London Plan Standards)	
PTAL: 1a	
Car Parking maximum standard	Proposed
13.5	13
Long Stay Cycle Storage minimum	Proposed
18	18
Short Stay Cycle Storage minimum	Proposed
2	2

1.1 This application is being reported to committee because:

- Councillor Helen Redfern made representations in accordance with the Committee Consideration Criteria and requested committee consideration.
- Objections above the threshold in the Committee Consideration Criteria have been received.

2 RECOMMENDATION

2.1 That the Committee resolve to GRANT planning permission

2.2 That the Director of Planning Sustainable Regeneration is delegated authority to issue the planning permission subject to the prior completion of a legal agreement to secure the following planning obligations:

1. Sustainable transport contribution of £13,500
2. S.278 and/or S.38 agreement to secure highways works
3. Carbon offset contributions
4. Air quality contribution
5. Monitoring fee
6. Payment of the Council's reasonable legal costs
7. Any other planning obligation(s) considered necessary by the Director of Planning and Sustainable Regeneration

2.3 That the Director of Planning and Sustainable Regeneration is delegated authority to issue the planning permission and impose conditions and informatives to secure the following matters:

Conditions

1. Commencement time limit of 3 years
2. Development to be carried out in accordance with the approved drawings and Reports

Pre-commencement

3. Submission of Construction Logistics Plan
4. Construction Environmental Management Plan for Biodiversity

Prior to above ground works

5. Submission of materials and design details
6. Landscaping in accordance with plans including specification of mature trees to be planted on the rear boundary, details of retaining wall;
7. Pre-occupation Wildlife sensitive lighting design scheme
8. Development in accordance with accessible homes requirements M4(3) and M4(2)
9. Submission of sustainability details including PV panels and air source heat pumps

Compliance

10. Obscure glazing on flank windows above ground floor level
11. Compliance with SUDS details
12. Compliance with bin and bike store layout
13. Compliance with Delivery and Servicing Details
14. Compliance with Arboricultural Assessment and Tree Protection Plan
15. Compliance with Ecological Appraisal recommendations
16. Compliance with Fire Statement
17. Implementation of car parking as shown on plans with no boundary treatments above 0.6m in the sightlines
18. Installation of at least 20% EVCPs
19. Water use target of 110l/p/d
20. Noise from mechanical equipment to not exceed background noise
21. Removal of Permitted Development Rights
22. Any other planning condition(s) considered necessary by the Director of Planning and Strategic Transport

INFORMATIVES

1. Granted subject to a Section 106 Agreement
2. Community Infrastructure Levy
4. Code of practice for Construction Sites
5. Highways informative in relation to s278 and s38 works required
6. Compliance with Building/Fire Regulations
7. Construction Logistics Informative
8. Refuse and cycle storage Informative
10. Any other informative(s) considered necessary by the Director of Planning and Strategic Transport

- 2.4 That the Committee confirms that adequate provision has been made, by the imposition of conditions, for the preservation or planting of trees as required by Section 197 of the Town and Country Planning Act 1990.
- 2.5 That, if by 3 months from the date of the committee meeting, the legal agreement has not been completed, the Director of Planning and Sustainable Regeneration is delegated authority to refuse planning permission.

3 PROPOSAL AND LOCATION DETAILS

Proposal

- 3.1 Full planning permission is sought for the demolition of the two dwellings on the site and the construction of 9 dwellinghouses, 3 storeys in height together with associated parking, access and landscaping. 13 car parking spaces are proposed along with 18 long stay cycle parking spaces, private amenity space, play space and hard and soft landscaping. The existing access drive leading to the backland site would be upgraded.



Figure 1 Proposed front elevation of plots 1-7

- 3.2 During the assessment of the application, amendments to the scheme have been made and these are detailed below:

Plots 1-3

- Plots 1-3 design revised and with houses redesigned to relocate projecting bay to the left to increase separation between plots 3 and 4

Plots 4-7:

- Lower ground floor level removed, garden topography adjusted to suit
- Houses redesigned to increase separation between plots 3 and 4

Site wide

- Plots 1-7 revised and relationship between the two blocks amended to increase considerably the separation between houses 3 and 4 (separation of 10.42m now created to the rear and 2.58m to the front)

- Refuse strategy amended;
- Bicycle parking for plots 1 & 2 added
- Bicycle parking for 3, 4, 5, 6, 7 and 8 amended
- Refuse vehicle turning head and courtyard redesigned
- Bulky waste storage area added
- Bin stores redesigned
- Parking spaces amended, including electric charging and blue badge provision
- Cycle storage amended.

3.3 As a result of these amendments re-consultation has taken place which has included all adjoining neighbours, and respondents to the first round of consultation.

3.4 152 objections have been received in total with 82 objections received during the first round and 70 received during the second round. These objections are summarised in section 5 of this report.

Site and Surroundings

3.5 The application site is a backland site to the south of Rectory Park. The site comprises 2 dwellings (34A and 34B Arkwright road) and part of the rear garden of 34 Arkwright Road (which hosts a flatted block of 7 units). The land to the rear of 34 Arkwright Road is separated from the amenity space of number 34 by a fence and is currently unused. The existing properties on the site are 2 storey brick/render buildings with attached garages. The site is accessed via a vehicular pathway from Arkwright Road.

3.6 The surrounding area is suburban in character, comprising detached dwellings and flatted blocks. There are some trees on the site boundaries, none of which are protected by TPOs. The site has a Public Transport Accessibility Level (PTAL) of 1a.



Figure 2 Aerial Site Plan

Planning Designations and Constraints

3.7 The site is subject to the following formal planning constraints and designations:

- PTAL: 1a
- Flood Risk Zone: 1

Planning History

3.8 The following planning decisions are relevant to the application:

Planning Applications at the Site

- 3.9 19/03643/OUT: Demolition of existing dwellings. Erection of a three/four storey building comprising 23 flats (6 x 1 bedroom, 14 x 2 bedroom and 3 x 3-bedroom units). Alterations to existing vehicular access/road and creation of parking area, amenity space, cycle and refuse storage – application withdrawn 06.11.2019
- 3.10 21/01208/FUL: Demolition of 2 dwellings and erection of a 3/4 storey building comprising 19 flats with associated car parking, cycle and refuse storage and landscaping. Alterations to existing vehicular access/road. Permission refused at committee 28.04.2022. Appeal dismissed 03.11.2022 (and costs application refused). The application was refused for the following reason:

1. Harmful effect on the character and appearance of the area

3.11 It is noted that when the appeal inspector made a decision on the appeal, the concerns raised by local residents regarding amenity impacts and housing mix were also considered.

Pre-application history on the site:

- 3.12 20/00149/PRE: Proposed demolition of existing houses. Erection of block comprising 21 flats with associated access, parking, landscaping

34 Arkwright Road

- 3.13 The rear part of the amenity space of number 34 forms part of the application site. The site history at 34 Arkwright Road is set out below. The development itself at number 34 is separate.
- 3.14 18/00749/FUL: Demolition of existing building: erection of a two-storey building with accommodation in roof space comprising 6 two bedroom and 1 three-bedroom flats: formation of associated access and provision of 7 parking spaces, cycle storage and refuse store. – permission granted 28.09.2018
- 3.15 19/04165/CONR: Section 73 application seeking to vary conditions 1 (Approved drawings), 3 (Refuse/Cycles/Boundary/Floor levels etc -(Refuse storage and Cycle storage only), 7 (CO2 Emissions) and 12 (Provision of M4(2) and M4(3) units) attached to 18/00749/FUL For the demolition of existing building: erection of a two storey building with accommodation in roof space comprising 6 two bedroom and 1 three bedroom flats: formation of associated access and provision of 7 parking spaces, cycle storage and refuse store. – permission granted 18.05.2020

4 SUMMARY OF KEY REASONS FOR RECOMMENDATION

4.1 The following sections of this report summarise the officer assessment and the reason for the recommendation.

- The principle of the intensified residential development is acceptable given the residential character of the surrounding area
- The proposal includes a mix of 3 and 4 bedroom family sized homes properties dwellings which would provide a high standard of accommodation
- The design and appearance of the development draws from the surrounding character, design and materiality and would positively contribute to the area
- A high quality landscaping scheme is proposed with in enhancement in biodiversity and tree planting
- The proposed development has been carefully designed and further amended in order to mitigate any unacceptable impact on neighbouring amenity
- The access arrangements have been scrutinised and would not have an unacceptable impact on highway safety.
- 13 car parking spaces would be provided on site, which would not result in a significant impact on parking stress.
- Suitable planning obligations and conditions have been recommended.

5 CONSULTATION RESPONSE

5.1 The views of the Planning Service are expressed in the MATERIAL PLANNING CONSIDERATIONS section below.

Pollution Control

5.2 No objection subject to conditions as follows:

- The noise level from air handling units, mechanical plant, or other fixed external machinery should not increase the background noise level when measured at the nearest sensitive residential premises
- The 'good' standard for acoustic design criteria under the British Standards Institute BS8233:2014 must be achieved in living rooms and bedrooms
- Adherence to the requirements of Croydon Council's Interim Policy Guidance on Air Quality
- Observe the Council's Code of Practice regarding 'Control of Pollution and Noise from Demolition and Construction Sites'
- Submission of a Construction Environmental Management Plan (to include control of noise and dust from construction and demolition activities) and a construction logistics plan (CLP)
- Submission of a Delivery and Servicing Plan (after review this is no longer required and the submitted details as part of the Highways technical note are considered to be acceptable.)
- Light from the proposed illuminations should not cause a nuisance to local residents
- Inclusion of ultra-low NOx boilers

Tree officers

5.3 No objection subject to securing tree protection measures and tree plan

Transport Planning

5.4 Objections initially raised as detailed below which the applicant has now addressed and details of which are considered to be acceptable:

- The number of parking spaces shown are acceptable however, they must be unallocated as per London Plan and visitor parking spaces are not required specifically on site.
- Swept path manoeuvres should be reduced
- Cycle spaces must meet all standards
- House 1 should have a 1.2m wide side footpath and houses 5&6 have steps to the back garden.
- Visitor cycle parking is required on site.
- The enclosures for the refuse/recycling must allow for 2x 240ltr and 1x180ltr bins and a 23ltr food caddy in each store.
- Increase size of collection areas, confirm drag distances and show the location of the parked refuse vehicle
- A 10sq.m bulky goods area is also required on site.
- Blue badge spaces should meet all standards
- How the turning head will be kept clear of parked vehicles will need to be demonstrated
- They propose 15% active EVCP's on site. The requirement is 20% active and 80% passive.

Ecology

- No objection subject to securing biodiversity mitigation and enhancement measures

6 LOCAL REPRESENTATION

First Round of Consultation

6.1 A total of 33 neighbouring properties were notified about the application and invited to comment. The application has been publicised by way of a site notice displayed in the vicinity of the application site. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows:

No of individual responses: 82 Objecting: 82 Supporting: 0

No of petitions received: 0

6.2 The following local groups/societies made representations which are summarised below:

Sanderstead Residents Association (objection)

- No objection in principle to this land being redeveloped to provide more houses, we feel that this proposal is an overdevelopment of the plot and fewer houses should be planned for this site.
- We note that the car parking provision is below standard provision as it does not provide 1.5 spaces per 3 bed property. As the access to this site is up a narrow access road, there is nowhere for overspill parking.
- Indeed the access road exits onto a narrow section of Arkwright Road which means there is no parking facility there either. This is also in a low PTAL rating area.
- We note that a recent application for housing in the rear of 38-40 Arkwright Road, which would have abutted this proposed development, was refused on the grounds of being an overdevelopment.
- The land to the rear of 34 Arkwright Road was specified to be maintained for a wildlife habitat when the application to build flats at 34 Arkwright Road was granted. This should not be built on or disturbed.

6.3 The following Councillor and MP made representations which are summarised below:

Councillor Helen Redfern [objecting]

- Overdevelopment on the grounds of height, layout, scale and massing
- Overlooking
- Trees could be removed
- Small gaps between dwellings increases massing
- Height exacerbated by land levels
- Insufficient access for lorries, refuse and fire service. Roundabout could potentially be blocked
- Further control over construction impacts
- Plans should be clear when presented to committee

Chris Philip MP [objecting]

- The proposal for the demolition of the current 2 detached family homes and construction of 9 new houses would be an overdevelopment of this site due to its design, height, scale, size, depth, density, footprint, bulk and massing
- The development would result in significant harm to the character and appearance of the area. In that regard, it would conflict with the design and local character requirements in Policies D3 (Optimising site capacity through the design-led approach) and D4 (Delivering good design) of the London Plan (2021) (LP 2021),
- Policies SP4 (Urban Design and Local Character) and DM10 (Design and character) of the CLP and the Framework.
- The proposal would fail to integrate successfully within the immediate surroundings and would be detrimental to the verdant back land character of the local area
- The proposal fails to respect the local development pattern, layout and siting;

neighbouring properties are generously spaced and respect the trees and green character of the area

- The density would be considerably out of character
- There would be a detrimental impact on the amenities of adjoining occupiers at numbers 78 and 80 Ridge Langley, due to massing and height as well as overlooking and loss of privacy
- Inadequate parking provision for residents and visitors and no dedicated disabled parking
- Concreting over of natural habitat rich back garden space, detrimental impact on biodiversity with the loss of so much natural vegetation
- Overall, this application would fail to meet the Mayor of Croydon's commitments that development should be design-led and not density-led and that proposals should respect local character.

Second Round of Consultation

- 6.4 A total of 33 neighbouring properties were notified about the application and invited to comment, together with all respondents from the first round of consultation. The application was publicised by way of a site notice again which was displayed in the vicinity of the application site. The number of representations received from neighbours, local groups etc in response to notification and publicity of the application were as follows

No of individual responses: 71 Objecting: 71 Supporting: 0

No of petitions received: 0

- 6.5 The following local groups/societies made representations which are summarised below:

Sanderstead Residents Association (objection):

- We believe that the amended drawings are an improvement, in particular the removal of the lower ground floor storeys which will reduce the perceived massing.
- The distances to neighbouring properties are reasonable now. We acknowledge that there is a demand for houses in the area and that this is a plot suitable for redevelopment, however we still have some issues with the proposed development.
- The car parking provision is below the standard of 1.5 spaces per three bedroom house - the spaces provided should be 14, this is based on 9 houses x 1.5=13.5 extrapolated upwards. Only 13 are currently provided.
- The pedestrian access route should be a minimum of 1.2m wide, not the 1.0m as quoted.
- Plots 1 to 7 do not meet Building Regulation Part M4(2) standards. A three storey property must have a shower room/wc at the ground level, and this is not provided. *(Officer Note: This is not required to achieve M4(2) compliance, and as part of further information submitted at condition stage (condition 8) the applicant would need to demonstrate that a level access shower on the upper floors can be provided as opposed to the provision of a shower at ground floor from the construction.)*

- The site has a PTAL rating of 1A which means that any incremental densification sites should be within 800m of a local centre or train station. This site is 1.5km away from Sanderstead rail station and therefore outside the criteria.
- We have concerns that the inevitable extra vehicles at the site will either park on the access road making it dangerous for pedestrians and/or restrict access for refuse/delivery/emergency vehicles. This access road also exits onto a single track roadway which will exacerbate the problem.
- The majority of our concerns above could be addressed by reducing the number of houses on the site.

6.6 The following Councillor made representations which are summarised below.

Councillor Helen Redfern (objection)

- The swept path analysis demonstrates that it is not possible for a larger vehicle to exit the site by travelling around the traffic island in the correct direction. Therefore, a refuse lorry will exit in the contra direction to oncoming traffic. This cannot be permitted.
- I would note that there remains a negative impact on the properties that lie to the rear on Ridge Langley. The application seems to incorrectly measure the distances between the development and these neighbours and ignores the more recent increase in land levels. It does not look like the application acknowledges that there is a habitable room in the extension to 80 Ridge Langley.

6.7 The following issues were raised in representations that are material to the determination of the application, and they are addressed in substance in the next section of this report:

Objection	Officer comment
Character and design	
Overdevelopment Not in keeping with area No other terraced house in area No other 4 storey houses in area Dominating position on hillside/ elevated site Harmful to suburban character Bulk and mass not in keeping Footprint and layout not in keeping Excessive hardstanding Lack of landscaping details	The proposed height (2 storeys with rooms in the roofspace) is in keeping with the height and massing of the surrounding dwellings. A design led approach has been taken which reflects the character, layout, footprint and suburban character of the area The proposed materials and landscaping would be high quality and full details would be secured by condition

	Matters related to design are assessed fully in the below report
Neighbouring amenity	
Overlooking Noise Loss of light Bike and bin storage location not safe or well designed Trees can be pruned impacting amenity Overbearing	The proposed development would not have an unacceptable impact on neighbouring amenity and measures have been taken to mitigate any negative impacts. Bike and bin stores do not propose a safety risk Matters related to residential amenity are assessed fully in the below report
Quality of accommodation	
No retaining wall for basement Dwellings not M4(2) Wheelchair compliant	The basement level has been removed and the applicant has demonstrated that accessibility criteria can be met Full details to show compliance with Part M Accessible and Adaptable dwellings would be secured by condition
Transport and Highways impacts	
Damage during construction to roads and drainage Impact of parking on local roads Parking areas may be enlarged No disabled parking Harm to pedestrian and other road users Lack of manoeuvring space for vehicles Not enough parking Not enough information related to highways works and servicing No Construction Logistics Plan Increased traffic	Access arrangements have been agreed with highways officers including works to the roundabout/ island on Arkwright Road and access leading to the site to ensure safety There is sufficient parking and manoeuvring on site in line with policy requirements which would prevent significant impact on local parking A Construction Logistics Plan would be secured by condition to minimise construction impacts to highways and residential amenity Matters related to highways, parking and construction are assessed fully in the below report

Tress and ecology	
<p>Destroys habitats Negative impact on wildlife (bats and badgers) Negative impact on environment Impact on trees Loss of green space Loss of 'Environmental Area' land</p>	<p>All species on site would be protected and measures taken to mitigate any negative impacts. There would also be an increase in tree planting. Overall there would be a net biodiversity gain.</p> <p>The site does not have any environmental designations and is not 'Environmental Area' land</p> <p>Matters related to Trees and ecology are assessed fully in the below report</p>
Sustainability	
<p>Pressure on environmental sustainability Negative impact on environment Risk of flooding Solar panels not shown on plans Pollution impacts</p>	<p>The proposal would achieve a 57% reduction in CO2 emissions which exceeds the 35% minimum requirement. Full details of sustainable measures would be secured by condition.</p> <p>Appropriate measures have also been taken to mitigate flooding</p> <p>Matters related to Sustainability, pollution and flooding are assessed fully in the below report</p>
Other	
<p>Issues from Inspectors report have not been addressed fully Impact on infrastructure Plans do not accurately show separation distances Development should be considered on its own merits not with previous refusal</p>	<p>The scheme as discussed in the below report has been assessed in accordance with the development plan and all relevant guidance and policies</p> <p>The plans meet planning requirements</p> <p>A scheme of this size would also not have a significant impact on infrastructure</p>

6.8 The following issues were also raised in representations which are not material to the planning application:

- Over development is used to maximise profits
- Devalue nearby properties
- No confidence in planners to assess plans
- Abuse of delegated powers
- Too many conditions

7 RELEVANT PLANNING POLICIES AND GUIDANCE

Development Plan

7.1 The Council's adopted Development Plan consists of the London Plan (2021), the Croydon Local Plan (2018) and the South London Waste Plan (2022). Although not an exhaustive list, the policies which are most relevant to the application are:

London Plan (2021)

- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D12 Fire Safety
- H1 Increasing housing supply
- H2 Small sites
- H10 Housing size mix
- S4 Play and informal recreation
- G5 Urban Greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- S11 Improving air quality
- S12 Minimising greenhouse gas emissions
- S13 Energy infrastructure
- S112 Flood risk management
- S113 Sustainable drainage
- T4 Assessing and mitigating transport impacts
- T5 cycling
- T6 car parking
- T6.1 Residential parking
- T7 Deliveries, servicing and construction

Croydon Local Plan (2018)

- SP2 Homes
- DM1 Housing choice for sustainable communities
- SP4 Urban Design and Local Character
- DM10 Design and character
- DM13 Refuse and recycling
- SP6 Environment and Climate Change

- DM23 Development and construction
- DM25 Sustainable drainage systems and reducing floor risk
- DM27 Protecting and Enhancing our Biodiversity
- DM28 Trees
- SP8 Transport and communications
- DM29 Promoting sustainable travel and reducing congestion
- DM30 Car and cycle parking in new development

7.2 The Development Plan should be read as a whole, and where policies conflict with each other, the conflict must be resolved in favour of the policy contained in the last document to be adopted, approved or published as part of the development plan, (in accordance with s38(5) of the Planning and Compulsory Purchase Act 2004).

Planning Guidance

National Planning Policy Framework (NPPF)

7.3 Government Guidance is contained in the NPPF, updated on 20 July 2021, and accompanied by the online Planning Practice Guidance (PPG). The NPPF sets out a presumption in favour of sustainable development, requiring that development which accords with an up-to-date local plan should be approved without delay. The NPPF identifies a number of key issues for the delivery of sustainable development, those most relevant to this case are:

- Delivering a Sufficient Supply of Homes
- Promoting Sustainable Transport
- Achieving Well Designed Places

SPDs and SPGs

7.4 There are also several Supplementary Planning Documents (SPD) and Supplementary Planning Guidance (SPG) documents which are material considerations. Although not an exhaustive list, the most relevant to the application are:

- London Housing SPG (Mayor of London, 2016)
- Accessible London: Achieving an Inclusive Environment SPG (Mayor of London, 2014)
- Play and Informal Recreation SPG (Mayor of London, 2012)
- Character and Context SPG (Mayor of London, 2014)
- Sustainable Design and Construction SPG (Mayor of London, 2014)

Additional Guidance

The following guidance has not been formally adopted as statutory planning guidance but is material to the assessment of planning applications:

- Section 106 Planning Obligations in Croydon and their relationship to the Community Infrastructure Levy (2019)
- Waste and Recycling in Planning Policy Document (October 2018)
- National Design Guide (2019)

8 MATERIAL PLANNING CONSIDERATIONS

8.1 The main planning issues raised by the application that the committee must consider are:

1. Principle of development
2. Design and impact on character of the area
3. Quality of residential accommodation
4. Impact on neighbouring residential amenity
5. Trees, landscaping and biodiversity
6. Access, parking and highway impacts
7. Flood risk and energy efficiency
8. Other Planning Issues
9. Conclusions

Principle of development

8.2 The Croydon Local Plan sets out a housing target of 32,890 homes over a 20-year period from 2016-2036 (1,645 homes per year). The London Plan requires 20,790 of those homes to be delivered within a shorter 10 year period (2019-2029), resulting in a higher annual target of 2,079 homes per year.

8.3 The Croydon Local Plan also sets out a target for development on Windfall sites of 10,060 homes (approximately 503 per year). The London Plan requires 6,410 net completions on small sites (below 0.25 hectares in size) over 10 years, with a small-sites housing target of 641 per year.

8.4 The strategy for delivering these homes is set out in Croydon Local Plan 2018 Policy SP2.2 of the Croydon Local Plan (CLP) (2018), which separates this target into three sub targets with 10,760 new homes to be delivered within the Croydon Opportunity Area, 6,970 new homes on specific site allocations, and 10,060 homes delivered across the Borough on “windfall” sites which include the application site. London Plan 2021 Policy H2 (Small Sites) advises that small sites (below 0.25 hectares in size) must make a substantially greater contribution to new supply across the city. Croydon’s annual target for homes on small sites is 641 homes a year (31% of the annual target).

8.5 The site forms an existing backland development behind numbers 34-38 Arkwright Road. The existing buildings on the site are 2 x 2 storey suburban houses and there is no in principle objection to their demolition, the principle of backland development on this site is therefore also already established.

8.6 The proposed intensification would represent a more efficient use of this space and would support the principles of national and local planning policy which seek to achieve efficient use of land. There is a clear and established access drive to the site, already in use by more than one dwelling, and the site is sufficiently large at 0.3ha to support intensified residential use and to achieve a reasonable ratio of built form to open space across the site.

8.7 The existing use of the site is residential and as such the principle of redeveloping the site for residential purposes is acceptable subject to achieving a high quality development and other provisions of the development plan as assessed in this report.

Design and impact on character of the area

- 8.8 Policies SP4.1 and DM10.1 of the Local Plan state that the Council will require development of a high quality, which respects and enhances Croydon's varied local character and contributes positively to public realm, landscape and townscape. London Plan policy D3 states that a design-led approach should be pursued and that proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness.
- 8.9 The surrounding area is a mix of detached houses of varying height, including bungalows with dormers, and two-storey houses under substantial pitched roofs, many of which have extended into the roofspace. There is also an example of a three storey flatted development at 34 Arkwright Road which has recently been completed.
- 8.10 The proposed development consists of 9x 3 storey dwellings (with the third storey contained in the roofspace) arranged as 2 detached dwellings, a semi-detached pair and a row of three terraced dwellings.



Figure 3 Proposed Site Layout

- 8.11 The proposed dwellings are located around a central courtyard, on spacious plots with large rear gardens, parking to the front and dwellings accessed from the street via small front gardens. There is an existing access drive measuring 3.7m to 4m in width which would serve as a shared surface for pedestrians and vehicles entering the site.
- 8.12 The proposed layout reflects the spacious character of the area and utilises the backland site in a similar fashion to the established cul-de sacs in the vicinity at Ridge Langley and Courtlands Close, which the site backs onto.

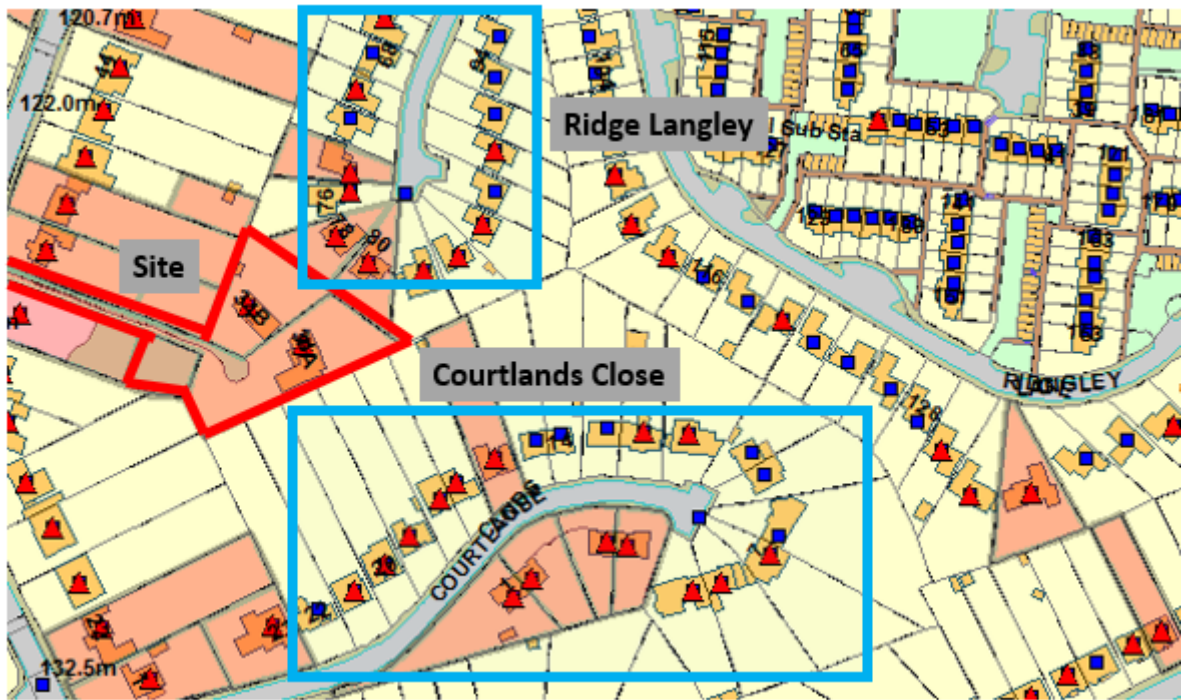


Figure 4 Wider urban grain

- 8.13 The proposed layout also picks up on other key elements of the surrounding urban typology. This can be seen in the proposed unit mix which provides family homes in the form of single family dwelling houses arranged as several small buildings (rather than a larger block of apartments) with similar footprints to the surrounding buildings. There would also be regular gaps in between dwellings, large rear gardens and the dwellings would front the street, being set behind soft landscaping and parking to the front. All of these design features would echo those of the surrounding cul-de-sacs, and as such the proposal would respect the existing development pattern.
- 8.14 In terms of height and massing, two storeys are proposed across the site with an additional storey contained fully within the roof spaces. This would be in compliance with DM Policy 10.1 which states that proposals should seek to achieve a minimum height of 3 storeys, should respect the development pattern, layout and siting; the scale, height, massing, and density; and the appearance, existing materials and built and natural features of the surrounding area.
- 8.15 It should also be noted that whilst a third storey is proposed, the dwellings are read as predominantly two storey traditional single family houses, with a converted roofspace. This has been achieved by utilising roof lights or small dormer windows within the roof slopes, in a similar fashion to nearby properties at no. 26 Arkwright Road and nos. 36-40 Arkwright Road which adjoin the site.
- 8.16 The use of these features has kept the overall increase in height to a minimum as can be seen in the below figure which shows a comparison of the existing two storey dwellings on site and the three storey dwellings proposed.



Figure 5 Comparison of elevations of existing dwellings at No. 34a and proposed dwellings

8.17 This also results in buildings of a height, massing and layout comparable to the existing 2-storey dwellings on Arkwright Road, Ridge Langley and Courtlands Close and would ensure that the character of the surrounding area would be maintained.



Figure 6 Proposed view from the access drive on Arkwright Road

8.18 In terms of the architecture and materials, a traditional design is proposed that incorporates features such as pitched roofs, hanging tiles, render, brickwork and timber Tudor boarding. This has been influenced by the character analysis and design led approach and references the substantial pitched roofs which slope back from the main elevations, darker material to the lower floors and light or red brick and render elevations.



Figure 7 Proposed front elevation of plots 1-7

- 8.19 Final details will be secured by condition, however officers are satisfied that the proposed materials would be high quality and contextually appropriate.
- 8.20 The proposed development has been subject to various design and material alterations following feedback from officers to the applicant, resulting in the removal of the lower ground floor of plots 4-7 (an extra storey was previously proposed), and changes in the façade to increase gaps in between dwellings.

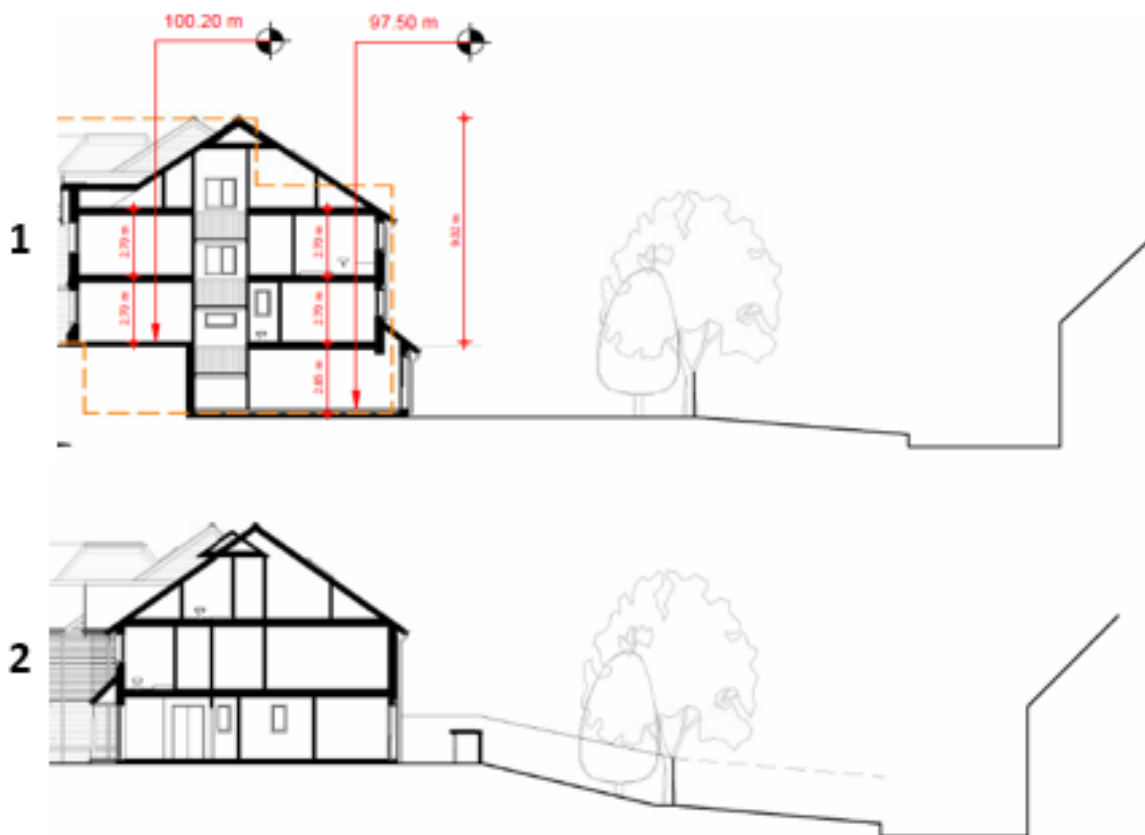


Figure 8 (Above) Plots 4-7 proposed prior to amendment;
(Below) Plots 4-7 after amendment (lower ground floor omitted, natural topography retained)

8.21 The applicant has demonstrated that a design led approach has been taken which respects the character of the area and which is considered to be of a high quality and of an appropriate scale and mass for this location. This can be seen in the proposed materials which match those in the area, how the roofspace has been utilised to create a third storey and incorporation of single family dwelling houses.

8.22 The proposal would therefore comply with policies SP4.1 and DM10 and London Plan policy D3 as it is of an appropriate form and mass for this site and a suitably high design quality which responds appropriately to its context.

Quality of residential accommodation

8.23 Policy D6 of the London Plan 2021 outlines housing development should be of a high-quality design and provide adequate-sized bedrooms and residential units, as well as sufficient floor to ceiling heights and light.

8.24 CLP policy SP2.8 requires residential development to comply with the minimum standards set out in the Mayor of London’s Housing Supplementary Planning Guidance and National Technical Standards (2015). Furthermore, proposals should meet minimum design and amenity standards set out in the CLP and other relevant London Plan and National Technical Standards (2015) or equivalent.

8.25 CLP policy DM10.4 requires proposals for new residential development to provide a minimum amount of private amenity space of 5m² per 1–2-person unit and an extra 1m² per extra occupant thereafter.

8.26 Policy D5 of the London Plan outlines development should be convenient and welcoming with no disabling barriers and policy D7 requires at least 10 per cent of dwellings to meet Building Regulation requirement M4(3) ‘wheelchair user dwellings’.

Unit	Size (bedroom/person)	GIA (sqm) proposed	Min. GIA (sqm)	Amenity Space (sqm)	Min. Amenity Space (sqm)	Built in storage space (sqm)	Min. built in storage space (sqm)
1	4b/6p (terraced)	125	112	96	8	7sqm	3
2	4b/6p (terraced)	125	112	70	8	7sqm	3
3	4b/6p (terraced)	125	112	65	8	7sqm	3
4	3B5P (semi-detached)	120	99	158	7	6.3sqm	2.5
5	3B5P(semi-detached)	120	99	78	7	6.3sqm	2.5
6	3B5P(semi-detached)	120	99	90	7	6.3sqm	2.5
7	3B5P(semi-detached)	120	99	111	7	6.3sqm	2.5
8	4B6P (detached)	145	112	119	8	3.5sqm	3
9	4B6P (detached)	146	112	100	8	3.5sqm	3

Table 1: scheme considered against London Plan Policy D6 and Table 3.1

- 8.27 All dwellings would meet or exceed external and internal space standards and would also be triple aspect. The standard of accommodation would be high quality and would in many cases far exceed minimum space standards.
- 8.28 1 dwelling would be built to M4(3) accessible standards with the remaining dwellings built to M4(2) standard. These details would be secured by condition with the applicant required to submit detailed drawings showing how each dwelling complies with the standards. Impact on neighbouring residential amenity
- 8.29 Policy DM10.6 of the Local Plan states that the Council will ensure proposals protect the amenity of occupiers of adjoining buildings and will not result in direct overlooking into their habitable rooms or private outdoor space and not result in significant loss of existing sunlight or daylight levels.
- 8.30 A number of objections have been raised with regards to the impact of the proposal on residential amenity and the below sections assess the impact of the proposal on the surrounding properties generally as well as those adjoining on Ridge Langley, Arkwright Road and Courtlands Close which adjoin the site. Overall it is considered that the modest height, separation distances proposed and traditional design would mitigate any significant impacts and the residential amenity of neighbouring properties would be preserved.

78-80 Ridge Langley

- 8.31 The dwellings achieve a minimum separation distance of 20 metres (increasing to 28.93m) to 80 Ridge Langley and 24.8 metres (increasing to 31.97m) to 78 Ridge Langley. These distances comply with para 2.3.36 of the Mayor of London's Housing SPG, which suggests that 18-21m could be a 'useful yardstick' for measuring separation distances to ensure visual privacy between habitable rooms facing each other. The development also ensures that there is no direct overlooking of private outdoor space within 10m perpendicular to the rear elevation of 78 and 80 Ridge Langley thereby satisfying the requirements of Policy DM10.6 of the CL.



Figure 9 Proposed distances between Plots 1-7 and nos. 78 and 80 Ridge Langley

8.32 Objections have been raised which state that the single storey rear extension at no. 80 has not been taken into account. The extension at no. 80 measures approximately 3m and the separation distances which are shown in the above figure 9 have been assessed accordingly. It should also be noted that due to significantly planting at this boundary and also additional proposed planting views would be obscured, further reducing the impact.

8.33 Notwithstanding this however, the proposed separation distances together with the modest height and traditional windows would mitigate significant overlooking impacts at Nos. 78- 80 Ridge Langley in themselves. Furthermore this is a typical residential relationship which can be seen across the borough and indeed the local area and the proposed development would maintain this. The proposed separation distance and overall height would also prevent any significant overbearing, sense of enclosure and daylight/ sunlight impacts.

8.34 Overall therefore it is considered that the proposed height and mass of the development, together with the separation distances to adjacent properties and traditional design would not materially harm the residential amenity of nos. 78- 80 Ridge Langley.

Arkwright Road and Courtlands Close

8.35 The properties on Arkwright Road have gardens approximately 30m- 51m in depth. There would be window to window separation distances of approximately 40m- 50m

which would prevent negative impacts on residential amenity with regards to privacy, overbearing, sense of enclosure and daylight/ sunlight.

- 8.36 At Courtlands close the separation distances would be between 64m and 41m which would also prevent negative impacts on residential amenity with regards to privacy, overbearing, sense of enclosure and daylight/ sunlight.
- 8.37 The residential amenity the properties at Ridge Langley and Courtlands Close would therefore not be significantly impacted and would overall be preserved. The proposed development would not result in any further significant impacts to neighbouring amenity

Trees, landscaping and biodiversity

Trees

- 8.38 Policy G7 requires that wherever possible, existing trees of value should be retained. Similarly, CLP policy DM28 specifies that proposals which result in the avoidable loss of retained trees where they contribute to the character of the area will not be acceptable. CLP policy DM10 also requires proposals to incorporate hard and soft landscaping.
- 8.39 Policy DM10.8 seeks to retain existing trees and vegetation and policy DM28 requires proposals to incorporate hard and soft landscaping.
- 8.40 A total of nine individual trees, two groups of trees, part of two further group of trees, one hedge and part of one further hedge will be removed to enable the proposed development.
- 8.41 Objections in particular have been raised with regards to the loss of the trees to the rear of No. 34 (T6, T7, T8, T9, H5 and G8). The trees to be removed are within the 'C' category either because they are young or are unsuitable for their current situation. These trees are also necessary to be felled to enable the development of access. Due to their size and visibility are of limited amenity value to the local area.
- 8.42 A total of 24 replacement trees would be planted which would mitigate the loss of the existing trees together with new hedges, scrub planting and shrub planting.
- 8.43 There are some trees which would experience root incursions as a result of the development, generally due to the hardstanding required for the car park, but these incursions would be relatively minor and the new hard surface areas would be porous and constructed using 'no dig' principles and a cellular confinement sub base.
- 8.44 The Council's Tree Officer has raised no objection to the tree survey, tree protection plan or method statement. It is considered that the replacement species, sizes and locations listed within the landscaping proposal are suitable mitigation planting. A condition would be attached to ensure all works are carried out in accordance with the tree protection plan.

Landscaping

- 8.45 The application is submitted with supporting Landscaping Plan by AKJ Landscaping. The existing site consists of two domestic dwelling houses and part rear garden of another and as such it is predominantly a mixture of soft landscaping; lawn and shrub

planting and hard landscaping of concrete and tarmac providing the access drives and parking areas for no. 34A and 34B Arkwright Road.

- 8.46 There are substantial shrub and tree planting to the boundaries that provide a private feel that will be retained or enhanced where necessary to retain its character. Additional broadleaf trees are proposed to be planted alongside the existing screening to the rear of plots 1-7 as well as fill in any gaps to assist with additional screening to the houses to the rear in Ridge Langley. The applicant is happy for any conditions to be added to the consent to cover this item. New mature trees will bring additional instant screening and will ensure long term screening. An updated landscaping plan has been provided to show the proposed landscaping strategy for the site.
- 8.47 The application has also been reviewed by the Council's Tree officer and no objections have been raised.
- 8.48 The proposed landscaping plan is detailed and of a high quality. Various areas of planting within the front and rear gardens are proposed along with trees and planting on the boundaries to provide screening. On the rear boundary, adjoining Ridge Langley a 1.8 high close board fence would be provided along with trees; a condition can be attached to ensure the trees are of a mature size when planted so that they are instant impact and provide instant screening. The proposed hard landscaping includes permeable paving across the car parking area, block paving for paths and various planters.
- 8.49 The proposal is considered to comply with Local Plan policy DM10.8 and DM28 and G7.

Ecology

- 8.50 London Plan policy G6 requires proposals to manage impacts on biodiversity.
- 8.51 A Preliminary Ecological Appraisal and Preliminary Bat Roost Assessment was carried out by Arbeco Ecology, Tree & Habitat Services in July 2019. The site comprises of two dwellings with associated access track and landscaped gardens. Habitats within the site included buildings, hardstanding, ponds, scattered broad-leaved and conifer trees, introduced shrubs and species poor hedges. The Preliminary Bat Roost Assessment confirmed that both buildings were of negligible potential to support roosting bats.
- 8.52 A badger walkover survey was carried out by Greenspace Ecological Solutions which confirmed that the holes were confirmed badger setts. The sett comprised of two holes which are likely linked together. The sett was confirmed to be an outlier sett. A 10m zone within which no construction will take place was recommended along with a no dig construction methods within the car park near the sett. A planting of a new hedgerow around the sett would secure it in the long-term. The report concluded that any vegetation clearance works and building works should be undertaken during the period of October to February, inclusive, outside of the nesting bird season. Precautionary approaches to clearance of vegetation was recommended with regards to reptiles and amphibians.
- 8.53 A Biodiversity Net Gain Assessment has been undertaken which concludes that the scheme would result in a 12.19% for habitats and 151.05% for linear features which is a measurable net gain. Proposed biodiversity enhancement measures include bird and

bat boxes, native species, minimal external lighting, deadwood habitat piles, and the incorporation of gaps within boundary fencing to allow hedgehogs to roam.

- 8.54 The proposal has been reviewed by the Council's independent Ecology advisor and no objection has been raised subject to conditions for a Construction Environment Management Plan (Biodiversity), ensuring that works are carried out in accordance with the submitted assessments and the incorporation of a wildlife sensitive lighting design scheme.
- 8.55 The proposal complies with Local Plan policy DM27 and London Plan policy G6.

Access, parking and highway impacts

- 8.56 London Plan policies T4, T6, and T6.1 (and Table 10.3) set out parking standards for proposed development and seek to ensure that proposals should not increase road danger. Similarly, CLP policies SP8, DM29, and DM30 promote sustainable growth and provide further guidance with respect to parking within new developments.

Access

- 8.57 The site has a Public Transport Accessibility Level (PTAL) of 1a which indicates very poor access to public transport. The closest train station is Sanderstead which is 1 mile away. The application site is not located within a controlled parking zone.
- 8.58 The site has an existing vehicle entrance point and access road. The proposal is to widen the existing entrance to allow cars to be able to pass by together with alterations to the central island on Arkwright Road to enable vehicles exiting the site to turn right without conflicting with either the island or vehicles attempting to turn into the site at the same time.
- 8.59 These alterations are proposed as part of a Stage 1 Road Safety Audit of the site access junction was undertaken by Gateway TSP for the previous planning application, the recommendations of which the applicant have all accepted. As the access junction arrangements are identical to the previous scheme, alongside the internal access road, the findings of the audit are still considered relevant to this revised scheme.
- 8.60 No objections have been raised by Highways officers and an acceptable and safe access would be provided for both pedestrians and vehicles. These alterations would be dealt with as part of a Section 278 agreement. The works would be funded by the applicant and would need to be completed prior to occupation.
- 8.61 There are 3 further stages of road safety audit to take place and to be reviewed and approved by the highways team (outside of the planning process) including stages 2 and 3 which both take place during detailed design, and prior to first use of the new junction, then stage 4 which takes place after implementation. The current proposal is acceptable in terms of road safety.
- 8.62 The access road would be a shared access road used by pedestrians, cyclists and vehicles, which is as per the existing arrangement but it would be formalised. The existing width of between 3.7m and 4.1m is sufficiently wide for pedestrians or bikes to have a 1m wide path and to be safely passed by a vehicle.
- 8.63 It is proposed to introduce a painted strip along the access road which would be demarcated by either a white strip with a coloured surface, or via appropriate materials

(such as brick) to ensure car drivers are aware of the potential for pedestrians to be using the access road. Considering the quantum of development and likely level of both vehicle and pedestrian flow, this is considered an appropriate measure as opposed to physically separating pedestrians and cars.

- 8.64 A condition would be attached to ensure that boundary treatments and landscaping in sightline areas are not higher than 0.6m.
- 8.65 It should be noted that a similar arrangement was proposed for the previous application (for 19 homes) and accepted by the Council.

Vehicle Parking

- 8.66 London Plan policy T6.1 would permit up to 1.5 spaces per 3+ bed unit and 1 space per 1-2 bed unit which equates to a maximum of 13.5.
- 8.67 13 car parking spaces are proposed for the 9 dwellings including 2 disabled bays and 3 electric vehicle charging points. Objections have been raised regarding insufficient parking and potential for overspill parking on surrounding roads however the proposed development would be able to accommodate all parking within site in line with London Plan Standards which should be noted are maximum not minimum standards.
- 8.68 Furthermore and in the interests of sustainable development, climate concerns and reducing traffic on roads, new developments should not over-provide car parking and a balance needs to be struck between encouraging sustainable modes of transport on the one hand and ensuring highway safety and managing on-street parking on the other.
- 8.69 This would include securing £13,500 would be secured via S106 for on street car clubs and general expansion of the EVCP network in the area and improvements to walking and cycling routes in the area. A condition will be attached to require submission of a construction Logistics Plan (CLP) and a condition survey of the surrounding footways and carriageway prior to commencement of works on site.

Cycle Parking

- 8.70 Policy DM30 and London Plan policy T5 would require provision of a total of 18 cycle parking spaces for residents are proposed together with 2 visitor parking spaces.
- 8.71 The cycle stores have access measuring 1.2m wide. There is sufficient space for larger bikes and electric bike sockets. 2 visitor cycle parking spaces are also proposed externally. These details are considered to be acceptable.

Refuse and Recycling

- 8.72 Policy DM13 requires the design of refuse and recycling facilities to be treated as an integral element of the overall design. Bin stores are located externally and after amending plans in line with highways officer comments, the applicant has demonstrated that collection points, access for refuse vehicles and walking distances would be acceptable.
- 8.73 The access road to the bin store is wide enough for a refuse vehicle and there is sufficient turning space on the site, plus 2m wide paths for operatives to drag bins from the store to the refuse vehicle. A 10sqm bulky good store is also provided on site.

- 8.74 Swept path analysis has also shown that a refuse vehicle would also be able to enter and exit the site in forward gear.
- 8.75 These details are acceptable and a condition will be attached for submission of final details, along with a servicing and delivery management plan.

Flood risk and energy efficiency

Flood Risk

- 8.76 CLP policies SP6.4 and DM25 seek to reduce the risk of flooding in the borough and ensure that all developments incorporate sustainable urban drainage systems (SUDS) to ensure surface run-off is managed as close to the source as possible. Similarly, London Plan policies SI 12 and SI 13 require proposals to ensure that flood risk is minimised and mitigated, and that surface water runoff is managed as close to its source as possible.
- 8.77 The site is within flood zone 1 and at low risk of surface water flooding. Rainwater pipes and permeable paving are proposed. Permeable paving would be used across the car park with water routed to the soakaway. These measures would follow the London Plan drainage hierarchy, with the remaining surface water drainage strategy by infiltration via 2 soakaway tanks.
- 8.78 A condition would be included to require full & final detailed design of the infiltration system at which time the actual proposed site & drainage levels can be confirmed.

Energy Efficiency

- 8.79 London Plan Policy SI2 requires major developments to be zero carbon by reducing greenhouse gas emissions in accordance with the energy hierarchy. An energy statement has been submitted stating that the scheme could achieve a 57% reduction in on-site regulated emissions through the use of PV panels and air source heat pumps with the remainder offset by way of a financial contribution to achieve zero carbon standards. The carbon offset contribution would be secured by S.106 legal agreement. The solar panels and heat pumps are not shown on the proposed elevations, so a condition is recommended securing details to avoid harm to amenity.
- 8.80 An air quality impact assessment would also be secured via S106 to ensure that the proposal would have a neutral impact and further secure any mitigation measures required.
- 8.81 In order to ensure that the proposed development will be constructed to high standards of sustainable design in accordance with Local Plan policy SP6, a condition will be attached requiring the proposed development to meet a minimum water efficiency standard of 110 litres/person/day as set out in Building Regulations Part G.

Fire safety

- 8.82 London Plan Policy D12 requires that development proposals should achieve the highest standards of fire safety at the earliest possible stage: 'In the interest of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of safety'.

8.83 An outline fire safety statement has been prepared with the level of detail that is appropriate and reasonable to comply with Policy D12. A plan has also been provided that demonstrates how future occupiers would evacuate the building in the event of a fire. Full details are required to comply with Part B of Policy D12, which are recommended to be secured by a planning condition given the scale of the development.

Conclusions

8.84 The provision of 9 single family dwelling houses in this backland location is acceptable in principle. There is an existing access road to the site and the site is large enough to sustainably accommodate increased residential use.

8.85 The proposed block would not be particularly visible from the public highway but would be of a high quality design and high quality materials have been specified. The quality of accommodation is acceptable and the quantity of car parking, cycle parking and access arrangements are all acceptable. Tree losses would be mitigated by replacement planting and landscaping and ecological features and habitats would be protected. There would be increased overlooking towards the rear of properties on Ridge Langley but this alone would not be a reason to refuse the scheme.

8.86 All material considerations have been taken into account, including responses to the public consultation. Taking into account the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning policy terms.

8.87 All other relevant policies and considerations, including the statutory duties set out in the Equalities Act 2010, the Human Rights Act, the Planning and Compulsory Purchase Act, and the Town and Country Planning Act, have been taken into account. Given the consistency of the scheme with the Development Plan and weighing this against all other material planning considerations, the proposal is considered to be acceptable in planning terms subject to the detailed recommendation set out in section 2 (APPROVAL).

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PLANNING COMMITTEE AGENDA

PART 8: Other Planning Matters

1 INTRODUCTION

- 1.1 In this part of the agenda are reports on planning matters, other than planning applications for determination by the Committee and development presentations.
- 1.2 Although the reports are set out in a particular order on the agenda, the Chair may reorder the agenda on the night. Therefore, if you wish to be present for a particular application, you need to be at the meeting from the beginning.
- 1.3 The following information and advice applies to all those reports.

2 FURTHER INFORMATION

- 2.1 Members are informed that any relevant material received since the publication of this part of the agenda, concerning items on it, will be reported to the Committee in an Addendum Update Report.

3 PUBLIC SPEAKING

- 3.1 The Council's constitution only provides for public speaking rights for those applications being reported to Committee in the "Planning Applications for Decision" part of the agenda. Therefore reports on this part of the agenda do not attract public speaking rights.

4 BACKGROUND DOCUMENTS

- 4.1 For further information about the background papers used in the drafting of the reports in part 7 contact Mr P Mills (020 8760 5419).

5 RECOMMENDATION

- 5.1 The Committee to take any decisions recommended in the attached reports.

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Sustainable Communities, Regeneration and Economic Recovery Department
DEVELOPMENT MANAGEMENT

DELEGATED PLANNING DECISIONS (Ward Order)

The following is a list of planning applications determined by the Head of Development Management under delegated powers since the last meeting of the Planning Committee.

18.04.2023 to 05.05.2023

Note: This list also includes those decisions made by Planning Committee and released in this time frame as shown within the level part of each case.

NOTE: The cases listed in this report can be viewed on the Council's Website.

Please note that you can also view the information supplied within this list and see more details relating to each application (including the ability to view the drawings submitted and the decision notice) by visiting our Online Planning Service at the Croydon Council web site (www.croydon.gov.uk/onlineplans).

Once on the Council web page please note the further information provided before selecting the Public Access Planning Register link. Once selected there will be various options to select the Registers of recently received or decided applications. Also; by entering a reference number if known you are able to ascertain details relating to a particular application. (Please remember to input the reference number in full by inserting any necessary /'s or 0's)

Ref. No. : 23/00837/LP

Location : 42 Inglis Road
Croydon
CR0 6QU

Ward : **Addiscombe East**

Type: LDC (Proposed) Operations
edged

Proposal : Erection of outbuilding in rear garden.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 19.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00868/HSE
Location : 54 Wydehurst Road
Croydon
CR0 6NG

Ward : Addiscombe East
Type: Householder Application

Proposal : Erection of rear single storey extension (following demolition of existing).

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00905/HSE
Location : 15 Elgin Road
Croydon
CR0 6XD

Ward : Addiscombe East
Type: Householder Application

Proposal : Erection of single storey rear extension.

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01000/LP
Location : 2A Addiscombe Avenue
Croydon
CR0 6LH

Ward : Addiscombe East
Type: LDC (Proposed) Operations
edged

Proposal : Erection of two (2) single-storey outbuildings in rear/side gardens (following demolition of demolition of an existing detached garage)

Date Decision: 05.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/04509/FUL

Ward : Addiscombe West

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : Ground Floor And First Floor Maisonette Type: Full planning permission
139 Addiscombe Road
Croydon
CR0 6SJ

Proposal : Single-storey rear/side extension (following demolition of existing conservatory), and Alterations

Date Decision: 02.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/04868/FUL Ward : **Addiscombe West**
Location : 12 Freemason's Road Type: Full planning permission
Croydon
CR0 6PB

Proposal : Change of use of a single family house (Use Class C3) house to a small HMO (Use Class C4), with associated site alterations

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/04947/HSE Ward : **Addiscombe West**
Location : 15 Warren Road Type: Householder Application
Croydon
CR0 6PE

Proposal : Erection of single-storey rear/side infill and wraparound extension, and Associated alterations

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/05179/FUL Ward : **Addiscombe West**
Location : 109 Lower Addiscombe Road Type: Full planning permission
Croydon
CR0 6PU

Proposal : Conversion of loft to habitable space with erection of rear dormer with internal alterations.

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 17.04.23

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 23/00944/DISC **Ward : Addiscombe West**
Location : 130 Addiscombe Court Road Type: Discharge of Conditions
Croydon
CR0 6TS

Proposal : Details pursuant to the discharge of conditions 3 (materials) and 4 (CMP) from planning permission 21/03732/FUL for 'Demolition of garage at rear and erection of a detached two bedroom house over three floors, with associated site alterations'

Date Decision: 05.05.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00978/FUL **Ward : Addiscombe West**
Location : 215 Davidson Road Type: Full planning permission
Croydon
CR0 6DP

Proposal : Single storey rear extension and rear roof extensions to facilitate the conversion of the property from a single family home into 2 flats, with associated changes to the fenestration and site alterations including the installation of a rear staircase.

Date Decision: 04.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/01035/CAT **Ward : Addiscombe West**
Location : 22 Clyde Road Type: Works to Trees in a
Croydon Conservation Area
CR0 6SU

Proposal : Conifer - Prune the height of the tree by approximately 1/3 to match the height of my neighbours 3 similar trees, and thin out the foliage in the remaining branches.

Date Decision: 17.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 23/01360/DISC **Ward : Addiscombe West**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : Land Adjacent To East Croydon Station And Type: Discharge of Conditions
Land At Cherry Orchard Road, Cherry
Orchard Gardens, Billington Hill, Croydon.

Proposal : Partial discharge of condition 3 (Landscaping - part of the fence/railing treatment on the corner of Oval Road and Cherry Orchard Road, adjacent to Cherry Orchard Garden element of the development) attached to planning permission 17/05046/FUL for the Erection of two 25 storey towers (plus plant) and a single building ranging from 5 to 9 storeys (plus plant) to provide a total of 445 residential units, with flexible commercial, retail and community floorspace (A1/A2/A3/A4/B1a/D1/D2) at ground and first floor level of the two towers and associated amenity, play space, hard and soft landscaping, public realm, cycle parking and car parking with associated vehicle accesses

Date Decision: 20.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 21/01993/CONR

Ward : **Bensham Manor**

Location : Station Yard
56 Brigstock Road
Thornton Heath
CR7 8RX

Type: Removal of Condition

Proposal : Variation of Condition 2 (Drawing Numbers) and Variation of Condition 7 (Childrens Play Space) attached to Planning Permission 18/05856/FUL for Demolition of existing Builders Yard buildings, erection of a block comprising a 6 storey building, and erection of a block comprising a 7 storey, 8 storey and 9 storey building, formation of 58 residential units comprising 26 x 1 bed, 9 x 2 bed and 23 x 3 bed apartments, and two commercial units (Flexible Hub Shared WorkSpace / Use Class B1b/B1c), provision of associated off-street parking, and refuse and cycle storage.

Date Decision: 18.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 22/03301/FUL

Ward : **Bensham Manor**

Location : 2A Bensham Manor Road
Thornton Heath
CR7 7AA

Type: Full planning permission

Proposal : Use of the site as a Special Educational Needs School (Use Class F1 (a)) with associated alterations to the fenestration of the building and site layout

Date Decision: 02.05.23

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 22/03611/FUL **Ward : Bensham Manor**
Location : 4 Goodman Crescent **Type: Full planning permission**
Croydon
CR0 2ND

Proposal : Change of use from C3 dwellinghouse to C2 Residential Care Home for up to 3 children

Date Decision: 25.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/04914/FUL **Ward : Bensham Manor**
Location : 128-130 Frant Road **Type: Full planning permission**
Thornton Heath
CR7 7JU

Proposal : Demolition of the existing warehouse and the erection of new dwellings (Class C3) with the associated amenity, cycle parking, refuse storage, landscaping and associated works. (amended description)

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00510/FUL **Ward : Bensham Manor**
Location : 127 Bensham Manor Road **Type: Full planning permission**
Thornton Heath
CR7 7AG

Proposal : Retrospective application for continued use as a 1 bedroom ground floor flat and a 4 bedroom small scale HMO on the 1st and 2nd floor, with communal kitchen and 2 bathrooms.

Date Decision: 24.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00564/ADV **Ward : Bensham Manor**
Location : Restaurant **Type: Consent to display**
66 Brigstock Road **advertisements**
Thornton Heath
CR7 7JA

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Erection of 1no. 4x3 meter digital screen

Date Decision: 17.04.23

Consent Refused (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 23/00937/HSE
Location : 72 Bensham Manor Road
Thornton Heath
CR7 7AB

Ward : Bensham Manor
Type: Householder Application

Proposal : Erection of single storey rear extension. Conversion of loft to habitable space and erection of rear dormer and installation of roof lights to the front roof slope.

Date Decision: 02.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01047/LP
Location : 77 Colliers Water Lane
Thornton Heath
CR7 7LF

Ward : Bensham Manor
Type: LDC (Proposed) Operations edged

Proposal : Erection of roof extension to rear of main roofslope and installation of three (3) rooflights into front roofslope.

Date Decision: 02.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/03936/DISC
Location : Praise House
145 - 151 London Road
Croydon
CR0 2RG

Ward : Broad Green
Type: Discharge of Conditions

Proposal : Discharge of condition 2 (land contamination), condition 8 (CLP), condition 10 (details), condition 11 (Tree) and condition 21 (piling) of planning permission reference 17/02181/FUL for the Demolition of the existing buildings and the erection of a mixed use development comprising 72 flats of up to 9 storeys in height and a community use (D1) and one retail unit (A3) on the ground floor with associated parking, servicing and landscaping, granted on the 04/05/18.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 26.04.23

Part Approved / Part Not Approved

Level: Delegated Business Meeting

Ref. No. : 22/01705/GPDO
Location : 11 Westcombe Avenue
Croydon
CR0 3DE

Ward : Broad Green
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of a single storey rear extension projecting out 5 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres

Date Decision: 26.04.23

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 22/04495/ADV
Location : 12 - 14 London Road
Croydon
CR0 2TA

Ward : Broad Green
Type: Consent to display
advertisements

Proposal : Erection of 1 illuminated fascia sign.

Date Decision: 24.04.23

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 22/05277/GPDO
Location : 3 Churchill Mews
137 Dennett Road
Croydon
CR0 3JH

Ward : Broad Green
Type: Prior Appvl - Class E to
(dwellings) C3

Proposal : Prior approval application for change of use from office (Class E) to a 2 bedroom dwellinghouse (Class C3)

Date Decision: 21.04.23

Approved (prior approvals only)

Level: Delegated Business Meeting

Ref. No. : 23/00403/NMA

Ward : Broad Green

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : Zodiac House
161 - 165 London Road
Croydon
CR0 2RJ

Type: Non-material amendment

Proposal : Non-material amendment (elevational alterations) linked to planning application 22/02573/FUL for the Part change of use from office (E(g)) and nightclub (sui generis) to residential (C3) to create 5no. apartments, and the demolition of external structures, formation of entrance ramp and stairs, alterations to elevations and associated works, approved on 25.10.2022.

Date Decision: 27.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00440/DISC
Location : Zodiac House
161 - 165 London Road
Croydon
CR0 2RJ

Ward : **Broad Green**
Type: Discharge of Conditions

Proposal : Discharge of condition 3 (detailing) of planning permission 22/02573/FUL for Part change of use from office (E(g)) and nightclub (sui generis) to residential (C3) to create 5no. apartments, and the demolition of external structures, formation of entrance ramp and stairs, alterations to elevations and associated works. Approved 25.10.2022.

Date Decision: 27.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00466/DISC
Location : 1 Kelling Gardens
Croydon
CR0 2RP

Ward : **Broad Green**
Type: Discharge of Conditions

Proposal : Details pursuant to Conditions 3A. External Materials, 3B. Window details, 4. Hard and soft landscaping materials and boundary, 5. Details of refuse storage, 6. cycle storage of planning permission 22/01834/ful Erection of single storey dwelling house at land to the South-East of No.1 Kelling Gardens, with associated cycle storage and bin storage

Date Decision: 26.04.23

Not approved

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 12 Waddington Way
Upper Norwood
London
SE19 3XJ

Type: Householder Application

Proposal : Erection of a first floor side extension and associated ground floor front/side extension, erection of dormer extension to rear of main roofslope, and Alterations including installation of rooflights to front roofslope

Date Decision: 25.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/02616/HSE

Ward : **Crystal Palace And Upper Norwood**

Location : 16 Ravensdale Gardens
Upper Norwood
London
SE19 3QD

Type: Householder Application

Proposal : Alterations to front elevation of dwellinghouse involving installation of door and to rear elevation involving replacement of two (2) openings with one (1)

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/02647/OUT

Ward : **Crystal Palace And Upper Norwood**

Location : Land Adjoining 54 Beulah Hill
Upper Norwood
London
SE19 3ER

Type: Outline planning permission

Proposal : Outline application for the erection of 7no. three storey detached homes on the site, with all matters reserved apart from access.

Date Decision: 04.05.23

Appeal Contested - (grounds of appeal)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/05182/FUL **Ward : Crystal Palace And Upper Norwood**
Location : 50B Auckland Road **Type: Full planning permission**
Upper Norwood
London
SE19 2DJ
Proposal : Erection of outbuilding in rear garden

Date Decision: 03.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00079/HSE **Ward : Crystal Palace And Upper Norwood**
Location : 7 Haynes Lane **Type: Householder Application**
Upper Norwood
London
SE19 3AN
Proposal : Erection of ground floor wraparound extension, erection of 2 rear dormers, internal alterations, and all associated works.

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00284/FUL **Ward : Crystal Palace And Upper Norwood**
Location : 284 Beulah Hill **Type: Full planning permission**
Upper Norwood
London
SE19 3HF
Proposal : Alterations, conversion of single dwelling to form 1x 3bed flat, 1x 2bed flat and 1x 1bed flat, erection of single-storey side/rear extension, provision of 2 rooflights in front roofslope and associated landscaping, cycle and refuse storage

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/04523/DISC **Ward : Coulsdon Town**
Location : Development Site Former Site Of Car Park Type: Discharge of Conditions
Lion Green Road
Coulsdon
CR5 2NL

Proposal : DCHFR-discharge of detail (staircase leading to SAM viewing platform) pursuant to Condition 16A of Planning Permission Ref. 17/06297/FUL granted 19.7.2018.

Date Decision: 26.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/04599/DISC **Ward : Coulsdon Town**
Location : Development Site Former Site Of Car Park Type: Discharge of Conditions
Lion Green Road
Coulsdon
CR5 2NL

Proposal : Full discharge of Condition 20 of Planning Permission Ref.17/06297/FUL granted 19.7.2018 (Detail provided refers to SAM signage text and presentation re. the Surrey Iron Railway)

Date Decision: 26.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/05301/FUL **Ward : Coulsdon Town**
Location : 5 The Avenue Type: Full planning permission
Coulsdon
CR5 2BN

Proposal : Demolition of double garage/outbuilding, alterations to land levels, erection of detached dwellinghouse over four floors with dormer extension on the rear roof slope, with associated parking, refuse and cycle provision. Dormer window proposed to attic bedroom in host dwelling at rear.

Date Decision: 21.04.23

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Discharge of condition 7 (landscaping) attached to planning permission ref. 21/00338/FUL (Demolition of existing dwelling and erection of two X 3 storey terraced blocks comprising 8 three bedroom dwelling houses with associated access, 8 parking spaces, cycle storage and refuse store at 116 Reddown Road, Coulsdon, CR5 1AL).

Date Decision: 05.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/01068/HSE
Location : 6 Chaplin Place
Coulsdon
Croydon
CR5 3GH

Ward : Coulsdon Town
Type: Householder Application

Proposal : Loft conversion including the installation of dormer extensions and rooflights to front and rear.

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/01337/DISC
Location : Warehouse
330B Chipstead Valley Road
Coulsdon
CR5 3BE

Ward : Coulsdon Town
Type: Discharge of Conditions

Proposal : Re-discharge of condition 3 (external facing materials) attached to planning permission 20/03766/CONR for variation of condition 2 (approved drawings) attached to planning permission 19/03559/FUL for Demolition of existing warehouse (Flexible Use Class B1b/B1c/B2/B8) and erection of a three storey building consisting of 1 x 3 bedroom and 2 x 2 bedroom units with associated cycle/waste stores, car parking and landscaping.

Date Decision: 25.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/01376/LP
Location : 44 Brighton Road
Coulsdon
CR5 2BA

Ward : Coulsdon Town
Type: LDC (Proposed) Operations edged

Proposal : Erection of rear dormer extension

Date Decision: 19.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/01430/LP
Location : 35 Nutfield Road
Coulsdon
CR5 3JP

Ward : Coulsdon Town
Type: LDC (Proposed) Operations edged

Proposal : Erection of a single storey rear extension and extension to raised patio

Date Decision: 04.05.23

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/01523/TR5
Location : 13 Olave Close
Coulsdon
Croydon
CR5 3FW

Ward : Coulsdon Town
Type: 5 Day Notification to Remove TPO(s)

Proposal : T1 Mountain Ash - Fell due to being dead.
(TPO no. 25, 1993)

Date Decision: 20.04.23

No Objection

Level: Delegated Business Meeting

Ref. No. : 22/01237/FUL
Location : Surrey House
2 Scarbrook Road
Croydon
CR0 1SQ

Ward : Fairfield
Type: Full planning permission

Proposal : Erection of two new storeys to form sixth and seventh floors (upward roof extension) to create 9no. self-contained residential units, and associated works.

Date Decision: 18.04.23

Appeal Contested - (grounds of appeal)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/04746/DISC **Ward : Fairfield**
Location : Land Adjacent To Croydon College Type: Discharge of Conditions
College Road
Croydon, CR0 1PF

Proposal : Discharge of condition 20 (lighting and CCTV) attached to planning permission 21/03856/CONR for the Variation of conditions 2 (approved plans) and 38 (parking facilities) imposed upon planning permission 19/04987/FUL (for redevelopment of the site to provide a part 49 storey and part 34 storey building with basements, comprising 817 co-living units (Use Class Sui Generis) within Tower A and 120 residential units (Use Class C3) within Tower B, a cafe (Use Class A3), community use (Use Class D1), associated communal facilities for co-living residents, amenity spaces, cycle parking, disabled parking spaces, refuse and cycle storage and associated landscaping and public realm works)

Date Decision: 24.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/05361/FUL **Ward : Fairfield**
Location : 70 High Street Type: Full planning permission
Croydon
CR0 1NA

Proposal : Alterations to the shopfront and alterations to the internal layout

Date Decision: 19.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00402/GPDO **Ward : Fairfield**
Location : Capitan House Type: Prior Appvl - Class E to
1C Church Road (dwellings) C3
Croydon
CR0 1SG

Proposal : Change of use of first, second, and third floors from office (Use Class E) to residential (Use Class C3) to provide 3no. flats under Schedule 2, Part 3, Class MA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended

Date Decision: 25.04.23

Approved (prior approvals only)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 23/00483/DISC **Ward : Fairfield**
Location : 10-11 Norfolk House Type: Discharge of Conditions
Wellesley Road
Croydon
CR0 1LH

Proposal : Discharge of conditions 3 (Refuse Management Plan) and 4 (Fire - Reasonable Exception Statement) attached to planning permission for 22/02993/FUL for the change of use from a vacant retail unit (Class E) to hairdresser/education in hair and beauty (Sui Generis), approved 15.12.2022

Date Decision: 17.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00715/DISC **Ward : Fairfield**
Location : Development Site Former Site Of Type: Discharge of Conditions
283 - 285 High Street
Croydon
CR0 1QH

Proposal : Details of the delivery and service plan for the site shall be provided to the local planning authority for prior approval, before the use of the commercial floorspace pursuant to Condition 17 of planning permission 20/04269/FUL granted for Demolition of existing building to provide 9 self contained flats with mixed used development on ground floor (A1/A2/B1a) commercial floor space.

Date Decision: 18.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00881/ADV **Ward : Fairfield**
Location : 1 High Street Type: Consent to display
Croydon advertisements
CR9 1PD

Proposal : Replacement of existing signage with new branded signage, including: - New Fascia sign x2, - New projection sign x2, - New vinyl ATM tablet sign x3, - New welcome sign (nameplate), - New vinyl graphic to glazing x3, - Installation of 1no. 55" digital screen, external facing

Date Decision: 02.05.23

Consent Refused (Advertisement)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 23/00882/ADV
Location : Land Adjacent To Croydon College
College Road
Croydon, CR0 1PF
Ward : Fairfield
Type: Consent to display advertisements

Proposal : External signage for the co-living entrances, comprising the following illuminated fascia signs:

1. Primary Entrance signage
2. Secondary Entrance signage
3. Large Building Signage - North Facade

Date Decision: 24.04.23

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 23/01101/GPDO
Location : 74 - 80 North End
Croydon
CR0 1UJ
Ward : Fairfield
Type: Prior Appvl - Class E to (dwellings) C3

Proposal : Use of first, second and third floors as residential units comprising 6 two bedrooms and 3 one bedroom flats within Use Class C3 (dwellinghouses)

Date Decision: 26.04.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/01118/LP
Location : 64 Frith Road
Croydon
CR0 1TA
Ward : Fairfield
Type: LDC (Proposed) Operations edged

Proposal : Erection of a rear dormer and installation of 2 rooflights on the front slope.

Date Decision: 20.04.23

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/01281/CAT
Ward : Fairfield

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : Flat B
55 Coombe Road
Croydon
CR0 1BR

Type: Works to Trees in a
Conservation Area

Proposal : T2 Pollard: To pollard mature Robinia located on the front boundary by Approx 1.5-2m lower than previous

T3 Reduction: To crown reduce semi-mature Robinia located on the front boundary by 1.5-2m.

T4 - Reduction: To reduce both mature Conifers located on the front boundary by 1.5m in height and trim sides.

Date Decision: 24.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 23/01482/DISC

Location : Land Adjoining East Croydon Station,
Bounded By George Street (Including 1-5
Station Approach), Dingwall Road, (Including
The Warehouse Theatre), Lansdowne Road
And Including Land To The North Of
Lansdowne Road, Croydon

Ward : **Fairfield**

Type: Discharge of Conditions

Proposal : Discharge of Condition 30 (Electric vehicle charging points) in respect of Plot B04/B05 attached to planning permission 20/01503/CONR for the erection of five buildings with a minimum floor area of 53,880 sq metres and maximum of 62,080 sq metres to provide a minimum of 550 and a maximum of 625 residential units; erection of up to 6 buildings for class E(g)(i) use for a minimum of 88,855 sq metres and a maximum of 151, 420 sq metres; provision of a minimum of 7285 sq metres and a maximum of 10,900 sq metres of commercial, business and service (class E(a)-(d)), and pub and drinking establishments (including those with expanded food provision) and takeaways (class Sui Generis); provision of a maximum of 400 sq metres of community and learning use (classes E(e)-(f), F.1(a)-(e) and F.2(a)-(b); provision of a replacement theatre of 200 seats; provision of energy centre and estate management facilities; formation of vehicular accesses and provision of pedestrian routes public open space and car parking not to exceed 256 parking spaces.

Date Decision: 04.05.23

Approved

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/02961/CONR
Location : 90 Welcomes Road
Kenley
CR8 5HE

Ward : Kenley
Type: Removal of Condition

Proposal : Variation of condition 2 (approved drawings and documents) attached to planning permission 20/05181/FUL for the erection of 3 dwellings to allow following amendments: gable ended roof finishes, omission of front balconies, enlargement of front lightwells, insertion of 6 x roof lights above the roof tops, 3 x front dormer windows, 3 x front roof lights, 6 x rear roof lights 3 x front gable features, square bay windows and lower ground floor front doors, alterations to Juliet balconies and the patio doors on the rear elevation and alterations to the numbers and positioning of the windows on the side elevations.

Date Decision: 25.04.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 22/03004/CONR
Location : Development Site Former Site Of
35 Uplands Road
Kenley
CR8 5EE

Ward : Kenley
Type: Removal of Condition

Proposal : Variation of Condition 2 (Approved Plans) attached to PP 20/00331/FUL for demolition of existing dwelling and attached garage. Erection of 6 town houses and associated parking and access road.

Date Decision: 25.04.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 22/03280/FUL
Location : 3 Park Road
Kenley
CR8 5AS

Ward : Kenley
Type: Full planning permission

Proposal : Demolition of the existing dwelling and the erection of 4 x 2-3 storey terrace dwellings, with associated car parking provision (accessible from Ravens Wold), external lift to the car park and landscaping.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/04775/HSE
Location : 3 Beckett Avenue
Kenley
CR8 5LT

Ward : **Kenley**
Type: Householder Application

Proposal : Part-restrospective application. Erection of new brick wall, railings and gate to front boundary (following demolition of existing boundary wall)

Date Decision: 04.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00347/FUL
Location : 102 Welcomes Road
Kenley
CR8 5HE

Ward : **Kenley**
Type: Full planning permission

Proposal : New dwelling with new access, refuse and cycle storage located in the garden of 102 Welcomes Road

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00538/HSE
Location : 4 Fair oak Close
Kenley
CR8 5LJ

Ward : **Kenley**
Type: Householder Application

Proposal : Demolition of garage and erection of part single, part two storey front, side and rear extensions, material alterations to front facade, replacement flat roof and raised patio to the rear.

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00557/DISC
Location : Wrenwood Court
38 Hermitage Road
Kenley
CR8 5EB

Ward : **Kenley**
Type: Discharge of Conditions

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Discharge of condition 9 (Cycle storage) of planning permission 19/05984/FUL (Erection of two/four storey side extension and two storey rear extension to provide 8 apartments. Reconfiguration of parking forecourt to provide 4 additional spaces and relocation and enlargement of bin store.)

Date Decision: 24.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00672/HSE
Location : 9 Beverley Road
Whyteleafe
CR3 0DW

Ward : Kenley
Type: Householder Application

Proposal : Alterations including erection of a single storey rear extension, including raised platform and steps down to the rear garden.

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00942/LP
Location : 60 Haydn Avenue
Purley
CR8 4AF

Ward : Kenley
Type: LDC (Proposed) Operations edged

Proposal : Erection of dormer extension on side/rear roof slope

Date Decision: 02.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00956/HSE
Location : 31 Hawkurst Road
Kenley
CR8 5DN

Ward : Kenley
Type: Householder Application

Proposal : Part-Retrospective Application. Alterations. Raising of original roof ridge. Erection of a two-storey side extension. Erection of a two-storey rear extension. Erection of a rear dormer roof extension incorporating a Juliet balcony. Installation of 1x rooflight to front roof slope, 1x rooflight to rear roof slope, 2x rooflights to northwest side roof slope, 2x rooflights to southeast side roof slope, and 1x rooflight to crown roof.

Date Decision: 28.04.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00995/TRE
Location : 126 Hayes Lane
Kenley
CR8 5HR

Ward : Kenley
Type: Consent for works to protected trees

Proposal : T1 Ash: 2.5 Metre crown reduction.
(TPO 22, 1970)

Date Decision: 17.04.23

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 23/00622/LP
Location : 78 Dunley Drive
Croydon
CR0 0RZ

Ward : New Addington North
Type: LDC (Proposed) Operations edged

Proposal : Erection of single-storey rear extension, side extension. Erection of a porch.

Date Decision: 20.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00767/HSE
Location : 6A Castle Hill Avenue
Croydon
CR0 0TB

Ward : New Addington North
Type: Householder Application

Proposal : Alterations to include installation of new door and window to side/rear elevations; erection of single storey rear extension.

Date Decision: 21.04.23

Permission Granted

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/03577/FUL **Ward : New Addington South**
Location : 343 King Henry's Drive Type: Full planning permission
Croydon
CR0 0AF

Proposal : Construction of a 2-storey 3 bedroom dwelling house and hip to gable roof extension to 343 King Henry's Drive

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00540/HSE **Ward : New Addington South**
Location : 15 Walsingham Road Type: Householder Application
Croydon
CR0 0HH

Proposal : Erection of rear patio and alterations to garden layout/land level with associated works

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00769/HSE **Ward : New Addington South**
Location : 64 Overbury Crescent Type: Householder Application
Croydon
CR0 0LN

Proposal : Erection of single-storey front, side and rear extension following demolition of existing garage to form a new annex. Alterations to fenestration.

Date Decision: 19.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00778/HSE **Ward : New Addington South**
Location : 52 Wolsey Crescent Type: Householder Application
Croydon
CR0 0PE

Proposal : Erection of single/two storey front/side extension

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 21.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00916/HSE
Location : 216 Homestead Way
Croydon
CR0 0DU

Ward : New Addington South
Type: Householder Application

Proposal : Replacement of detached single storey outbuilding to the rear of the site to form a garage and an annex

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 19/03926/FUL
Location : 267 Norbury Avenue
Norbury
London
SW16 3RN

Ward : Norbury Park
Type: Full planning permission

Proposal : Conversion of single dwelling to four flats, with associated alterations, landscaping and refuse storage (retrospective).

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 20/05573/FUL
Location : Gibson's Hill, Junction With Covington Way
Norbury
London
SW16 3JS

Ward : Norbury Park
Type: Full planning permission

Proposal : To erect vehicle and pedestrian gates to the front and rear entrances of Gibsons Hill

Date Decision: 25.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 21/04836/CONR
Location : 191A Green Lane
Norbury
London
SW16 3LZ

Ward : Norbury Park
Type: Removal of Condition

Proposal : Proposed removal of condition 5 (use of outbuilding as storage only) from planning permission 20/04172/FUL for 'Single storey extension, alterations to the roof including erection of a rear dormer and rooflights and alterations to the side elevation fenestration to facilitate the conversion of a dwelling house in three self-contained residential units.'

Date Decision: 25.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 22/02619/NMA
Location : Land Adjoining Norbury Railway Station
Norbury Avenue
Norbury
London

Ward : Norbury Park
Type: Non-material amendment

Proposal : Non material amendment to planning permission 20/05947/FUL for 'Construction of a four-storey building comprising of 9 flats with balconies and a ground floor commercial unit (Use Class B8 storage and distribution) with associated parking, bicycle and refuse area; vehicles crossover, pedestrian footpath improvements, new landscaping including communal area' in order to relocate car pool spaces to a position in front of the site

Date Decision: 24.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/04672/HSE
Location : 41 Crown Lane
Norbury
London
SW16 3JE

Ward : Norbury Park
Type: Householder Application

Proposal : Demolition of existing garage and erection of two storey side extension.

Date Decision: 03.05.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00631/HSE
Location : 14 Croft Road
Norbury
London
SW16 3NF

Ward : Norbury Park
Type: Householder Application

Proposal : Erection of single storey rear extension and erection of two storey side extension.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00682/HSE
Location : 35 Virginia Road
Thornton Heath
CR7 8EL

Ward : Norbury Park
Type: Householder Application

Proposal : Erection of single storey rear extensions.

Date Decision: 19.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00764/LP
Location : 68 Springfield Road
Thornton Heath
CR7 8DY

Ward : Norbury Park
Type: LDC (Proposed) Operations edged

Proposal : Erection of roof extension.

Date Decision: 20.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00791/LP
Location : 47 Highbury Avenue
Thornton Heath
CR7 8BQ

Ward : Norbury Park
Type: LDC (Proposed) Operations edged

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Erection of single storey side extension. Hip to gable loft conversion, erection of rear dormer and installation of two rooflights on the front roofslope.

Date Decision: 24.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00811/LP

Location : 306 Green Lane
Norbury
London
SW16 3BA

Ward : Norbury Park

Type: LDC (Proposed) Operations
edged

Proposal : Alteration of roof from hip to gable end, erection of roof extension to rear of main roofslope, installation of three (3) roof lights in front roofslope and soil and vent pipe.

Date Decision: 19.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00921/DISC

Location : 39 Crown Lane
Norbury
London
SW16 3JE

Ward : Norbury Park

Type: Discharge of Conditions

Proposal : Discharge of Condition 3 (Cycle and refuse provision) and 4 (Landscaping) of LPA ref: 20/02216/FUL (Change of use of the dwelling as 4 self-contained units comprising 1 three bedroom, 3 two bedroom flats)

Date Decision: 05.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/01091/CAT

Location : 163 Gibson's Hill
Norbury
London
SW16 3ES

Ward : Norbury Park

Type: Works to Trees in a
Conservation Area

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : (1) Weeping Willow: Reduce to previous reduction points and then a further 0.75m
(2) Magnolia: 2 metre crown reduction
(3) Yew: crown reduction of 0.5metre
(4) Fir: Crown reduction of 2 metres.

Date Decision: 24.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. :	23/01151/CAT	Ward :	Norbury Park
Location :	Amenity Land Outside 16-18 Arnalls Road Norbury London	Type:	Works to Trees in a Conservation Area

Proposal : The trees are located in the common area of 16-38 Arnalls Road, a circular private close. In addition to the areas in front of the houses, we won a small section to the left as you come into the close near the beginning of footpath 703. The common area is owned and managed by Towndate Property Management, a company jointly owned and run by the residents. I am a resident and finance director of the company. If you would like photos, please let me know. You are also very welcome to come and see in person,

The trees we would like to prune are (numbers denote number on sketch)
1/ Reduce height of Yew tree by 1.5 metres (height is approx. 5 metres at present)
2/ Reduce Holme Oak A (entry to close) by 1.5 metres (height is approx. 4 metres at present)
3/ Reduce and shape Silver Birch by 1.5 metres (height approx. 8 metres at present)
4/ Thin out low trunk growth on Holme Oak B in Centre of Island
5/ Reduce Hazel by 1 metre (height approx. 6 metres at present)

Date Decision: 24.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. :	23/01684/LP	Ward :	Norbury Park
Location :	61 Maryland Road Thornton Heath CR7 8DJ	Type:	LDC (Proposed) Operations edged

Proposal : Erection of hip to gable, erection of rear dormer and installation of rooflights.

Date Decision: 05.05.23

Lawful Dev. Cert. Granted (proposed)

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 21/02835/DISC **Ward : Norbury And Pollards Hill**
Location : 64 Dalmeny Avenue Type: Discharge of Conditions

Norbury
London
SW16 4RP

Proposal : Discharge of condition 3 (soft and hard landscaping, boundary treatment, cycle and bin stores) of permission reference 21/00286/FUL for the conversion of single family dwellinghouse into two self-contained flats

Date Decision: 27.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/02381/HSE **Ward : Norbury And Pollards Hill**
Location : 173 Norbury Crescent Type: Householder Application

Norbury
London
SW16 4JX

Proposal : Erection of single-storey rear/side infill extension (following partial demolition of existing rear addition), Erection of hip-to-gable roof enlargement and dormer extension to rear of main roofslope, Installation of two (2) rooflights to front roofslope, and Alterations including raising of roof of existing rear addition by 0.5m

Date Decision: 25.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/04271/FUL **Ward : Norbury And Pollards Hill**
Location : Freeman Court Type: Full planning permission

94 Stanford Road
Norbury
London
SW16 4QR

Proposal : Installation of double-glazing windows and replacement of side door to convert the existing courtyard into a staff room.

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. :	23/00727/LP	Ward :	Norbury And Pollards Hill
Location :	23 Pollards Hill East Norbury London SW16 4UX	Type:	LDC (Proposed) Operations edged

Proposal : Hip to gable loft conversion, erection of rear dormer and installation of three rooflights on the front roofslope.

Date Decision: 19.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. :	23/00753/HSE	Ward :	Norbury And Pollards Hill
Location :	47 Pollards Hill South Norbury London SW16 4LR	Type:	Householder Application

Proposal : Erection of a single storey garage in the rear garden.

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. :	23/00757/FUL	Ward :	Norbury And Pollards Hill
Location :	97A Kilmartin Avenue Norbury London SW16 4RA	Type:	Full planning permission

Proposal : Sub-division of existing first/second floor unit into two self contained 1 bedroom flats

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 23/00846/GPDO
Location : 51 Melrose Avenue
Norbury
London
SW16 4RU

Ward : Norbury And Pollards Hill
Type: Prior Appvl - Class A Larger
House Extns

Proposal : Erection of single storey rear extension projecting out 4 metres with a maximum height of 3 metres

Date Decision: 19.04.23

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/00982/DISC
Location : 2-10 Fairview Road
Norbury
London
SW16 5PY

Ward : Norbury And Pollards Hill
Type: Discharge of Conditions

Proposal : Discharge of Condition 5 (cycle facilities) and Condition 6 (refuse/recycling store) of LPA ref: 20/02330/FUL (Change of use from A1 (retail) to part D2 (gym) and part C3 (6 flats) single storey infill extension and minor external alterations including the enlargement of existing windows and creation of new windows with associated amenity space, parking and refuse store).

Date Decision: 04.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00348/FUL
Location : 16 Coulsdon Road
Coulsdon
CR5 2LA

Ward : Old Coulsdon
Type: Full planning permission

Proposal : Subdivision of existing detached dwellinghouse into two semi-detached three-storey dwellinghouses. Erection of a three-storey front extension. Erection of a single-storey rear extension. Erection of 2x rear dormer roof extensions. Erection of 2x dormer windows to front roof slope. Alterations to external elevations.

Date Decision: 20.04.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00423/HSE
Location : 15 Canon's Hill
Coulsdon
CR5 1HB

Ward : Old Coulsdon
Type: Householder Application

Proposal : Alterations and single storey rear extension, loft conversion including raising the ridge height, and new garage/storage

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00590/DISC
Location : Ash Villas
86 Bradmore Way
Coulsdon
CR5 1PB

Ward : Old Coulsdon
Type: Discharge of Conditions

Proposal : Discharge Condition 8 (Retaining Walls) attached to Planning Permission ref. 21/02020/FUL for 'Demolition of existing dwelling and garage and erection of a 2-3 storey building (including lower ground floor), comprising 7 dwellings, together with car parking, cycle parking, refuse storage and associated landscaping'

Date Decision: 17.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00671/HSE
Location : 29 Canon's Hill
Coulsdon
CR5 1HB

Ward : Old Coulsdon
Type: Householder Application

Proposal : Alterations including the erection of a hip to gable roof extension, rear and side dormers and one rooflight to the front roofslope.

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. :	23/00880/FUL	Ward :	Old Coulsdon
Location :	Land At The Rear Of 394-398 Coulsdon Road Coulsdon CR5 1EF	Type:	Full planning permission

Proposal : Construction of a three-bedroom detached dwelling in the rear gardens of nos. 394 and 398 Coulsdon Road with access from Lacey Avenue and provision for parking, cycle storage and refuse storage.

Date Decision: 05.05.23

Permission Refused

Level:	Delegated Business Meeting
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Ref. No. :	23/01033/TRE	Ward :	Old Coulsdon
Location :	Development Site Former Site Of 48 Homefield Road Coulsdon CR5 1ES	Type:	Consent for works to protected trees

Proposal : T1 Oak tree - reduce back from the building by 1.5-2 metres to suitable growth points. (TPO 12, 1985)

Date Decision: 17.04.23

Consent Granted (Tree App.)

Level:	Delegated Business Meeting
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Ref. No. :	23/01378/NMA	Ward :	Old Coulsdon
Location :	10 Stoneyfield Road Coulsdon CR5 2HJ	Type:	Non-material amendment

Proposal : Non-material amendment to planning permission ref. 21/05018/HSE for the erection of single storey rear/side/ front extension and internal alterations.

Date Decision: 18.04.23

Approved

Level:	Delegated Business Meeting
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Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 23/01444/LP **Ward : Old Coulsdon**
 Location : 294 Coulsdon Road Type: LDC (Proposed) Operations
 Coulsdon edged
 CR5 1EB

Proposal : Erection of hip to half hip and rear dormer includes installation of one rooflight on front roof slope.

Date Decision: 21.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/01158/FUL **Ward : Park Hill And Whitgift**
 Location : 2 Selborne Road Type: Full planning permission
 Croydon
 CR0 5JQ

Proposal : Partial demolition to main dwelling; alterations to existing dwelling to include garage conversion in to a habitable space; erection of two storey dwellinghouse with associated parking.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/03551/NMA **Ward : Park Hill And Whitgift**
 Location : 2A Upfield Type: Non-material amendment
 Croydon
 CR0 5DP

Proposal : Non-material amendment to PP 22/00958/HSE (to include alterations to the front door - canopy above, side windows to the approved fronted bay windows omitted, extended dormer width in front roof slope, bi-folding doors to approved rear extension and installation of rooflights in the front roofslope.
).

Date Decision: 04.05.23

Not approved

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 38 Fitzjames Avenue
Croydon
CR0 5DD
Type: Householder Application

Proposal : Alterations including two storey side extensions and two storey front extension including front porch (allowed on appeal - 22/00368/HSE/Appeal Ref: APP/L5240/D/22/3301191) and erection of single storey rear extension.

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/01228/DISC
Ward : **Purley Oaks And Riddlesdown**

Location : 126-132 Pampisford Road
Purley
CR8 2NH
Type: Discharge of Conditions

Proposal : Application for approval of details reserved by condition number 4 (infiltration testing) attached to planning permission 20/01550/FUL (Demolition of four detached dwelling houses and the construction of four buildings with heights ranging from two to five storeys to accommodate 66 flats; with associate vehicle and cycle parking, refuse store, hard and soft landscaping. at: 126-132 Pampisford Road, Purley, CR8 2NH).

Date Decision: 24.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00384/HSE
Ward : **Purley Oaks And Riddlesdown**

Location : 63 Derwent Drive
Purley
CR8 1ES
Type: Householder Application

Proposal : Demolition of existing garage and erection of part single, part two-storey side and rear extension

Date Decision: 24.04.23

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00608/DISC

Ward : **Purley Oaks And
Riddlesdown**

Location : 9 The Spinney
Purley
CR8 1AB

Type: Discharge of Conditions

Proposal : Discharge of conditions 3 (CLP), 4, (Trees), 5 (CEMP), 6 (non-native species), 8 (Biodiversity Enhancement), 11 (lighting) attached to permission 22/00419/FUL dated 27.01.2023 for the 'Demolition of existing property and garage and erection of 5 x 3 storey town houses with associated parking & landscaping'.

Date Decision: 03.05.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00627/FUL

Ward : **Purley Oaks And
Riddlesdown**

Location : 421A Brighton Road
South Croydon
CR2 6EU

Type: Full planning permission

Proposal : Construction of a single storey front extension to provide additional workshop space (Use Class E(g)(iii) Light Industry)

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00637/HSE

Ward : **Purley Oaks And
Riddlesdown**

Location : 4 Edgar Road
South Croydon
CR2 0NG

Type: Householder Application

Proposal : Single storey rear extension (retrospective)

Date Decision: 27.04.23

Permission Granted

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00800/DISC
Location : 33 Purley Downs Road
Purley
CR8 1HA
Ward : **Purley Oaks And Riddlesdown**
Type: Discharge of Conditions

Proposal : Discharge of condition 3 (EVCP and Commercial turning and loading) attached to planning permission 19/02276/FUL for the demolition of existing buildings on site and the redevelopment of the site to provide 267 sqm of commercial floorspace (B1/B8) and 37 residential units (13 x 1 beds, 18 x 2 beds and 6 x 3 beds), with associated landscaped areas including children's play space, parking, cycle store and refuse store.

Date Decision: 24.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00809/HSE
Location : 26 Hillview Close
Purley
CR8 1AU
Ward : **Purley Oaks And Riddlesdown**
Type: Householder Application

Proposal : Conversion of garage/storeroom to habitable accommodation together with external alterations

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 19/04478/FUL
Location : 4 More Close
Purley
CR8 2JN
Ward : **Purley And Woodcote**
Type: Full planning permission

Proposal : The demolition of existing dwelling and the construction of a part-three/part-four-storey building to accommodate 9 flats with associated vehicular access, vehicle and cycle parking and refuse provision along with hard and soft landscaping.

Date Decision: 26.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 21/03100/DISC **Ward : Purley And Woodcote**
Location : 7 Purley Rise **Type: Discharge of Conditions**
Purley
CR8 3AU
Proposal : Discharge of condition 2 (Materials), 3 (Hard and Soft Landscaping) and 5 (Detailed matters) attached to planning permission for 19/01588/FUL for the demolition of the existing dwelling house and the construction of a basement and two storeys plus accommodation in the roof space comprising of 2 x 3 bedroom units, 3 x 2 bedroom units and 3 x 1 bedroom units, with associated landscaping, car parking, cycle and refuse stores.

Date Decision: 02.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 21/05035/FUL **Ward : Purley And Woodcote**
Location : 6 More Close **Type: Full planning permission**
Purley
CR8 2JN
Proposal : Demolition of 4-bedroom dwellinghouse, erection of a 9-unit apartment block comprising lower ground, ground, first, and second floors, and associated alterations to vehicce access and provision of car parking, cycle storage, refuse storage, and landscaping.

Date Decision: 26.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 21/06052/FUL **Ward : Purley And Woodcote**
Location : 956 Brighton Road **Type: Full planning permission**
Purley
CR8 2LP
Proposal : Alterations to include alterations to part of the existing ground floor at rear and erection of first floor extension to form 2 bedroom flat with balcony and associated cycle and refuse facilities

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/06053/FUL **Ward : Purley And Woodcote**
Location : 3A Kimberley Place **Type: Full planning permission**
Purley
CR8 2BX

Proposal : Erection of four storey building for use as 2 bedroom flat with associated bin and cycle stores

Date Decision: 17.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/02039/FUL **Ward : Purley And Woodcote**
Location : 5 - 7 Hartley Old Road **Type: Full planning permission**
Purley
CR8 4HH

Proposal : Alterations to land levels, erection of 2 pairs of semi-detached dwellinghouses to the rear of nos. 5 & 7 Hartley Old Road, provision of associated vehicular access/access road and parking, hard and soft landscaping, amenity space, cycle provision and refuse and recycling storage

Date Decision: 18.04.23

Appeal Contested - (grounds of appeal)

Level: Delegated Business Meeting

Ref. No. : 22/02324/CONR **Ward : Purley And Woodcote**
Location : 82 Hartley Down **Type: Removal of Condition**
Purley
CR8 4EB

Proposal : Variation of Condition 1 (Approved Drawings) and Removal of Conditions 5 (Railings) and 6 (No Roof Terrace) attached to planning permission ref. 19/04864/HSE for the construction of a first floor, single/two storey front/side extensions to form a two-storey dwelling. Construction of a rear roof extension with installation of 4 front and 2 rooflights to each side roof slope and associated alterations.

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/02428/HSE
Location : Grey Timbers
Woodcote Lane
Purley
CR8 3HA
Ward : Purley And Woodcote
Type: Householder Application

Proposal : The alteration of the existing garage into habitable accommodation. Two storey side extension and single storey side/rear extension. Balcony over rear extension. Erection of detached double garage

Date Decision: 25.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/02639/OUT
Location : 176 & 178 Foxley Lane
Purley
CR8 3NF
Ward : Purley And Woodcote
Type: Outline planning permission

Proposal : Demolition of existing semi-detached houses and the erection of a 8, two storey semi-detached (4 bedroom houses) with associated parking, landscaping, refuse and cycle storage facilities. (Approval sought on the following matters: access; appearance; layout; scale)

Date Decision: 25.04.23

Appeal Contested - (grounds of appeal)

Level: Delegated Business Meeting

Ref. No. : 22/03066/FUL
Location : 91 - 93 Brighton Road
Purley
CR8 4HD
Ward : Purley And Woodcote
Type: Full planning permission

Proposal : Conversion, refurbishment and extension of existing pair of semi-detached properties to provide a total of nine residential apartments, associated car parking, cycle storage, refuse storage, and hard and soft landscaping (including excavation). (Amended drawings issued 05/01/2023).

Date Decision: 05.05.23

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 22/03074/DISC **Ward : Purley And Woodcote**
Location : 42 Grovelands Road Type: Discharge of Conditions
 Purley
 CR8 4LA

Proposal : Discharge of Conditions 6 (Refuse and Cycle), ref. 19/00886/FUL for the demolition of the existing dwelling and the erection of a 3 storey detached building (with roofspace accommodation) comprising 3 x 3 bed, 5 x 2 bed and 1 x 1 bedroom flats with associated access road, car parking, refuse and cycle stores, amenity space and landscaping.

Date Decision: 24.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/03484/DISC **Ward : Purley And Woodcote**
Location : Woodcote Reservoir Type: Discharge of Conditions
 Smitham Bottom Lane
 Purley
 CR8 3DE

Proposal : Discharge of condition 8 (cycle storage) and condition 10 (boundary treatment) of ref. 18/04720/FUL for the erection of 2 x two storey buildings with accommodation in roof space and basement parking comprising a total of 9 flats, formation of vehicular access and associated landscaping

Date Decision: 25.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/04025/FUL **Ward : Purley And Woodcote**
Location : 4 High Street Type: Full planning permission
 Purley
 CR8 2AA

Proposal : Retrospective change of use from retail (Class E) to hot food takeaway (Sui generis), installation of extraction flue to rear.

Date Decision: 05.05.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 22/04264/CONR **Ward :** **Purley And Woodcote**
 Location : 16 Smitham Downs Road **Type:** Removal of Condition
 Purley
 CR8 4NB

Proposal : Variation of Condition 2 (Drawing Numbers) attached to permission 20/05575/FUL for Demolition of existing dwelling, erection of a 3/4 storey building comprising 9 flats with basement car parking, landscaping and amenity space.

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/05063/DISC **Ward :** **Purley And Woodcote**
 Location : Development Site Former Site Of **Type:** Discharge of Conditions
 63 Whytecliffe Road South
 Purley
 CR8 2AZ

Proposal : Discharge of conditions 4 (surface water drainage), 7 (cycle storage), 8 (electric charging points), 9 (travel management plan) and 30 (design of forecourt area) of ref. 19/02109/FUL for the demolition of existing mosque and erection of mixed use mosque development comprising public worship spaces, function areas and one floor of residential use (3 x studio flats) with associated landscaping.

Date Decision: 25.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/05259/DISC **Ward :** **Purley And Woodcote**
 Location : Purley Baptist Church And Hall, Banstead **Type:** Discharge of Conditions
 Road, 1-4 Russell Hill Parade, 1 Russell Hill
 Road And, 2-12 Brighton Road And 1-9
 Banstead Road Purley CR8

Proposal : Partial discharge of condition 6 (Landscaping) and condition 7 (Playspace) for Phase 1 attached to permission 16/02994/P for Demolition of existing buildings on two sites, erection of 3 to 17 storey building with basements comprising 114 flats, community and church space and a retail unit on Island Site and a 3 to 8 storey building comprising 106 flats on south site and public realm improvements with associated vehicular accesses

Date Decision: 17.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/05346/FUL
Location : 14 Oakwood Avenue
Purley
CR8 1AQ

Ward : **Purley And Woodcote**
Type: Full planning permission

Proposal : Demolition of existing garage and extensions to existing house. Two storey rear extension to existing house. Erection of one new house to be built to the side of the existing house with altered and new vehicular accesses, hardstanding and other associated works.

Date Decision: 05.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00582/GPDO
Location : 29 Hillside Avenue
Purley
CR8 2DP

Ward : **Purley And Woodcote**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 4.3 metres from the rear wall of the original house with a height to the eaves of 2.95 metres and a maximum height of 3.75 metres

Date Decision: 20.04.23

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/00819/FUL
Location : 36A Foxley Lane
Purley
CR8 3EE

Ward : **Purley And Woodcote**
Type: Full planning permission

Proposal : Demolition of existing bungalow and erection of a 3-4 storey building including accommodation in the roof space to provide 7 flats with associated bin and bike stores, landscaping and car parking accessed from Plough Lane.

Date Decision: 28.04.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00822/CONR
Location : Kunle Court
39 Banstead Road
Purley
CR8 3DT

Ward : Purley And Woodcote
Type: Removal of Condition

Proposal : Removal of condition number 9 attached to planning permission ref. 18/03130/FUL (Alterations and conversion to form 4 one bedroom and 3 two bedroom flats, demolition of front extension and erection of front, side and rear extensions, rear dormer extension, associated car parking, refuse, recycling and cycle storage facilities).

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00885/DISC
Location : 1 Smitham Bottom Lane
Purley
CR8 3DE

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Part discharge of condition 11 (Part A - Security Measures) attached to planning permission 20/06319/FUL for Demolition of existing 2 storey detached dwelling and garage, construction of part 3, 4, and 5 storey building comprising a mix of 16 no. one, two and three bedroom flats, associated parking and hard and soft landscaping

Date Decision: 26.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00889/DISC
Location : 1 Smitham Bottom Lane
Purley
CR8 3DE

Ward : Purley And Woodcote
Type: Discharge of Conditions

Proposal : Discharge of condition 9 (Detailed Design) attached to planning permission 20/06319/FUL for Demolition of existing 2 storey detached dwelling and garage, construction of part 3, 4, and 5 storey building comprising a mix of 16 no. one, two and three bedroom flats, associated parking and hard and soft landscaping

Date Decision: 24.04.23

Approved

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00961/DISC **Ward : Purley And Woodcote**
Location : 59-63 Higher Drive **Type: Discharge of Conditions**
Purley
CR8 2HR

Proposal : Discharge of condition number 16 (Public Art) attached to planning permission ref. 19/03282/FUL (Demolition of existing buildings, erection of a three/four/five storey building comprising 40 residential units, provision of 24 car parking spaces and associated refuse and cycle storage at: 59-63 Higher Drive, Purley, CR8 2HR).

Date Decision: 03.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/01011/TRE **Ward : Purley And Woodcote**
Location : 2 Russell Green Close **Type: Consent for works to protected trees**
Purley
CR8 2NR

Proposal : T25 Beech: Crown Reduction up to 2.5 metres and 3 metre crown lift.
(TPO 24, 1977)

Date Decision: 17.04.23

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 23/01243/CAT **Ward : Purley And Woodcote**
Location : 11 Briar Hill **Type: Works to Trees in a Conservation Area**
Purley
CR8 3LF

Proposal : 1 x Young Cedar - Fell to ground (overcrowding in area/ growing in to Oak tree)
1 x Whitebeam - Fell to ground level (close proximity to garage/house)

Date Decision: 24.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Ref. No. : 23/01246/DISC **Ward : Purley And Woodcote**
Location : Croydon South Conservative Association Type: Discharge of Conditions
36 Brighton Road
Purley
CR8 2LG

Proposal : Discharge of condition 5 (construction logistics plan) attached to planning permission for 20/00763/FUL for the construction of a two/three storey building comprising 3 self-contained flats (including plot division) fronting Purley Rise; hard and soft landscaping; boundary treatment; land level alterations including excavation and part basement/lower ground level and refuse and cycle storage

Date Decision: 24.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/01271/LP **Ward : Purley And Woodcote**
Location : 14 Hartley Down Type: LDC (Proposed) Operations
Purley edged
CR8 4EA

Proposal : Erection of side dormer includes installation of two rooflight on side elevation

Date Decision: 02.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 21/02186/NMA **Ward : Sanderstead**
Location : Alnus Apartments Type: Non-material amendment
43 Downsway
South Croydon
CR2 0JB

Proposal : Non-material amendment to planning permission ref. 20/00170/CONR (The demolition of existing dwelling: erection of two storey building with accommodation in roof space and basement, containing 5 two bedroom and 2 three bedroom flats with associated access, 5 parking spaces, cycle storage and refuse store. (without compliance with conditions 1, 3, 4, 6 and 13 attached to reference number: 19/00828/CONR to allow for minor changes to: land levels; refuse arrangements; landscaping; and construction setup)) for alterations to the landscaping and drainage at the site.

Date Decision: 17.04.23

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Approved

Level: Delegated Business Meeting

Ref. No. : 22/02205/CONR

Ward : Sanderstead

Location : Agnes House
89 Hyde Road
South Croydon
CR2 9NS

Type: Removal of Condition

Proposal : Variation of condition 2 (plans) attached to permission 20/00108/FUL dated 22/02/21 (as amended by NMA application 22/01408/NMA) for the Demolition of existing two-storey dwelling and erection of a four/five storey (including excavation and lower ground level) building comprising of 9 residential flats, hard and soft landscaping, boundary treatment, land level alterations, undercroft and external car parking, private/communal/play space and internal refuse/cycle storage. The effect of the variation is to add a ventilation shaft to the roof of the building and a smoke shaft to the communal hallway on each floor.

Date Decision: 28.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 22/04258/DISC

Ward : Sanderstead

Location : 3 Harewood Gardens
South Croydon
CR2 9BU

Type: Discharge of Conditions

Proposal : Discharge of condition 9 (Cycle and refuse details) attached to planning permission 20/03366/FUL for the demolition of two family dwellinghouses and erection of 8 x semi-detached houses with associated access, car parking, cycle and refuse storage.

Date Decision: 04.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/04259/DISC

Ward : Sanderstead

Location : 3 Harewood Gardens
South Croydon
CR2 9BU

Type: Discharge of Conditions

Proposal : Discharge of condition 14 (refuse collection management) attached to planning permission 20/03366/FUL for the demolition of two family dwellinghouses and erection of 8 x semi-detached houses with associated access, car parking, cycle and refuse storage.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 04.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/04456/DISC

Ward : Sanderstead

Location : 158 Purley Downs Road
South Croydon
CR2 0RF

Type: Discharge of Conditions

Proposal : Discharge Condition 9 (Waste Storage) attached to Planning Permission ref. 21/01619/FUL for 'Demolition of existing dwelling and garage and erection of two 3-storey buildings, comprising of 7 dwellings, together with car parking, amenity space, cycle parking, refuse storage and associated landscaping'

Date Decision: 25.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/04872/FUL

Ward : Sanderstead

Location : 31 Copthorne Rise
South Croydon
CR2 9NN

Type: Full planning permission

Proposal : Demolition of a detached garage, alterations to land levels, erection of two detached two storey houses with accommodation within the roof space, formation of vehicular accesses and car parking spaces (including an access and parking space for the host property), provision of associated cycle and refuse

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00723/HSE

Ward : Sanderstead

Location : 52 Glebe Hyrst
South Croydon
CR2 9JF

Type: Householder Application

Proposal : Demolition of existing car port and detached garage, alterations, erection of single storey front, single/two storey side and single storey rear extension incorporating front porch and raised patio.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 20.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00735/HSE
Location : 207 Upper Selsdon Road
South Croydon
CR2 0DY

Ward : Sanderstead
Type: Householder Application

Proposal : Erection of a single storey rear extension and first storey side extension, with garage conversion and external alterations.

Date Decision: 17.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00786/NMA
Location : 158 Purley Downs Road
South Croydon
CR2 0RF

Ward : Sanderstead
Type: Non-material amendment

Proposal : Non-Material Amendment (S96a) to Planning Permission ref. 21/01619/FUL for 'Demolition of existing dwelling and garage and erection of two 3-storey buildings, comprising of 7 dwellings, together with car parking, amenity space, cycle parking, refuse storage and associated landscaping'. Amendment seeks correction to drawings referred to in three (3) conditions through the re-wording of Conditions 2 (Drawings), 11 (Vehicle Parking), and 12 (Cycle Storage)

Date Decision: 25.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00790/HSE
Location : 1 Barrowsfield
South Croydon
CR2 9BZ

Ward : Sanderstead
Type: Householder Application

Proposal : Application for retrospective planning permission for the provision of a balcony area at first floor level with associated pairs of French doors and slatted wood screen.

Date Decision: 24.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00813/LP
Location : 22A Sylvan Close
South Croydon
CR2 8DS

Ward : Sanderstead
Type: LDC (Proposed) Operations
edged

Proposal : Erection of single storey side extension. Erection of rear dormer, installation of a rooflights on front roofslope and removal of chimney.

Date Decision: 24.04.23

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/00823/DISC
Location : 158 Purley Downs Road
South Croydon
CR2 0RF

Ward : Sanderstead
Type: Discharge of Conditions

Proposal : Discharge Condition 6 (Biodiversity Enhancement Strategy) attached to Planning Permission ref. 21/01619/FUL for 'Demolition of existing dwelling and garage and erection of two 3-storey buildings, comprising of 7 dwellings, together with car parking, amenity space, cycle parking, refuse storage and associated landscaping'

Date Decision: 25.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00867/DISC
Location : 158 Purley Downs Road
South Croydon
CR2 0RF

Ward : Sanderstead
Type: Discharge of Conditions

Proposal : Discharge Condition 7 (SuDS) attached to Planning Permission ref. 21/01619/FUL for 'Demolition of existing dwelling and garage and erection of two 3-storey buildings, comprising of 7 dwellings, together with car parking, amenity space, cycle parking, refuse storage and associated landscaping'

Date Decision: 28.04.23

Approved

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00968/HSE
Location : 23 Clyde Avenue
South Croydon
CR2 9DN

Ward : Sanderstead
Type: Householder Application

Proposal : Demolition of detached garage and existing rear conservatory, erection of single / two storey front / side / rear extension with internal alterations. Loft conversion including hip to gable extension and rear dormers including three rooflights to the front roofslope.

Date Decision: 02.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/01043/GPDO
Location : Surgery
15 Rectory Park
South Croydon
CR2 9JQ

Ward : Sanderstead
Type: Prior Appvl - Class E to
(dwellings) C3

Proposal : Change of use from dentist office (Use Class E) to residential (Use Class C3) to form part of the existing dwellinghouse (Class C3) on the site (Prior Approval Notification - Schedule 2, Part 3, Class MA).

Date Decision: 05.05.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/01050/TRE
Location : 245A Limpsfield Road
South Croydon
CR2 9DE

Ward : Sanderstead
Type: Consent for works to protected trees

Proposal : T1 Yew. To laterally reduce the front face that overhangs the fence line by 1.5m for full height and remove major deadwood and old stub cuts. Due to loss of light, heavy guano on vehicles.
(TPO 04, 2015)

Date Decision: 17.04.23

Consent Refused (Tree application)

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 22/05042/HSE **Ward : Selsdon And Addington Village**
 Location : 7 Mountwood Close **Type: Householder Application**
 South Croydon
 CR2 8RJ
 Proposal : Erection of upward extension, two-storey rear extension and a covered balcony to the rear with glass balustrades following demolition of existing conservatory. Expansion of basement and conversion of existing storage space to living space.

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00342/HSE **Ward : Selsdon And Addington Village**
 Location : 3 Chestnut Grove **Type: Householder Application**
 South Croydon
 CR2 7LL
 Proposal : Erection of two storey side extension to dwelling.

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00360/HSE **Ward : Selsdon And Addington Village**
 Location : 30 Littleheath Road **Type: Householder Application**
 South Croydon
 CR2 7SA
 Proposal : Alterations to front elevation to include single/two storey front/side extension and single storey rear extension. Installation of rooflights in front and rear roofspaces.

Date Decision: 25.04.23

Permission Refused

Level: Delegated Business Meeting

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 76A Addington Village Road
Croydon
CR0 5AQ

Type: Works to Trees in a
Conservation Area

Proposal : Cotoneaster tree - Fell
Reduction of apple tree - reduce by 25% to maintain within its environment (T2)
Reduction of apple tree - reduce by 25% to maintain within its environment (T3)
Reduction of birch tree - reduce by 25% to maintain within its environment (T4)
Reduction of mixed hedgerow to reduce height by no more than 3 metres (T5)

Date Decision: 24.04.23

No objection (tree works in Con Areas)

Level: Delegated Business Meeting

Ref. No. : 22/03422/FUL

Location : Selsdon Park Hotel And Golf Course
126 Addington Road
South Croydon
CR2 8YA

Ward : **Selsdon Vale And Forestdale**
Type: Full planning permission

Proposal : Alterations to the Selsdon Park Hotel

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00914/HSE

Location : 131 Benhurst Gardens
South Croydon
CR2 8NZ

Ward : **Selsdon Vale And Forestdale**
Type: Householder Application

Proposal : Erection of single storey side/rear extension to dwelling.

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01372/NMA

Ward : **Selsdon Vale And Forestdale**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 110 Old Farleigh Road Type: Non-material amendment
South Croydon
CR2 8QE

Proposal : Non material amendment to planning permission 23/00115/HSE for the 'Erection of
granny annexe' for removal of rear doors.

Date Decision: 28.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 21/05923/FUL Ward : **Selhurst**
Location : 113 St Saviour's Road Type: Full planning permission
Croydon
CR0 2XF
Proposal : Change of use from dwelling (Class C3) to 5-bed House of Multiple Occupation (HMO)
(Class C4) (Retrospective).

Date Decision: 18.04.23

P. Granted with 106 legal Ag. (3 months)

Level: Delegated Business Meeting

Ref. No. : 22/02170/FUL Ward : **Selhurst**
Location : 4 Clarence Road Type: Full planning permission
Croydon
CR0 2EN

Proposal : Conversion of existing C4 HMO House into 7 people Sui Generis HMO house

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/05292/FUL Ward : **Selhurst**
Location : The Drum And Monkey Type: Full planning permission
7 Gloucester Road
Croydon
CR0 2DH

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Demolition of existing outbuildings. Erection of two storey rear extension and roof extension to existing pub building with 4 x dormer windows and changes to fenestration to facilitate 2 x self-contained residential units and retention of pub. Erection of two storey building at the rear of the plot to facilitate 2 x self-contained residential units, with associated landscaping.

Date Decision: 03.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00560/LP

Location : 208 Sydenham Road
Croydon
CR0 2EB

Ward : Selhurst

Type: LDC (Proposed) Operations edged

Proposal : Erection of single storey rear extension

Date Decision: 19.04.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/00642/FUL

Location : First Floor Flat
26 Lodge Road
Croydon
CR0 2PB

Ward : Selhurst

Type: Full planning permission

Proposal : Alterations, erection of L-shaped rear dormer extension and provision of 2 rooflights in front roofslope

Date Decision: 28.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00697/LP

Location : 35 Strathmore Road
Croydon
CR0 2JP

Ward : Selhurst

Type: LDC (Proposed) Operations edged

Proposal : Installation of a new window at ground floor level in association with the conversion of a garage to a habitable room.

Date Decision: 20.04.23

Lawful Dev. Cert. Granted (proposed)

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00947/HSE
Location : 77 Elmwood Road
Croydon
CR0 2SX

Ward : Selhurst
Type: Householder Application

Proposal : Erection of single storey rear extension.

Date Decision: 20.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01009/FUL
Location : Brit Performing Arts And Technology School
60 The Crescent
Croydon
CR0 2HN

Ward : Selhurst
Type: Full planning permission

Proposal : Installation of 5 x Air Source Heat Pumps to rooftop of main building.

Date Decision: 05.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01384/LP
Location : 378 Sydenham Road
Croydon
CR0 2EA

Ward : Selhurst
Type: LDC (Proposed) Operations edged

Proposal : Erection of rear dormer extension and provision of 2x rooflights in front roofslope

Date Decision: 04.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 20/06394/PDO
Location : 60 Wickham Road
Croydon
CR0 8BA

Ward : Shirley North
Type: Observations on permitted development

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Erection of a single storey electricity substation at 60 Wickham Road, CR0 8BA.

Date Decision: 27.04.23

Not Determined application

Level: Delegated Business Meeting

Ref. No. : 23/00262/HSE

Ward : Shirley North

Location : 11 Firsby Avenue
Croydon
CR0 8TP

Type: Householder Application

Proposal : Single storey rear and side extension with a pitched roof to an existing two storey, semi-detached dwelling house.

Date Decision: 21.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00382/DISC

Ward : Shirley North

Location : Hasil House
17 Orchard Avenue
Croydon
CR0 8UB

Type: Discharge of Conditions

Proposal : Details pursuant to conditions 9 (carbon reductions) and 15 (wheelchair unit) of planning permission 19/00131/FUL granted for Demolition of existing detached house, erection of 3-storey building with further floor of accommodation in roofspace comprising 3 x 1 bedroom flat, 4 x 2-bedroom flats and 1 x 3 bedroom flat, formation of vehicular access and provision of 4 associated parking spaces and refuse storage

Date Decision: 26.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00594/FUL

Ward : Shirley North

Location : 159 - 161 The Glade
Croydon
CR0 7QR

Type: Full planning permission

Proposal : Demolition of two existing bungalows and associated garages, construction of 5 family homes with associated parking and cycle storage. The dwellings to consist of four semi detached properties facing The Glade and one detached property on Brookside Way.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00738/HSE
Location : 21 Valley Walk
Croydon
CR0 8SR

Ward : Shirley North
Type: Householder Application

Proposal : Single storey rear extension and two storey side extension.

Date Decision: 17.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00952/HSE
Location : 35 Tower View
Croydon
CR0 7PY

Ward : Shirley North
Type: Householder Application

Proposal : Proposed single storey rear/side extension

Date Decision: 03.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00972/FUL
Location : 4 Bywood Avenue
Croydon
CR0 7RA

Ward : Shirley North
Type: Full planning permission

Proposal : Single storey side/rear extension to ground floor retail unit

Date Decision: 05.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00976/HSE
Ward : Shirley North

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 134 Tower View
Croydon
CR0 7PW

Type: Householder Application

Proposal : Roof alterations and erection of first floor side extension with hip to gable end. Erection of single-storey side extension. Garage conversion.

Date Decision: 28.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00989/DISC

Location : Hasil House
17 Orchard Avenue
Croydon
CR0 8UB

Ward : **Shirley North**
Type: Discharge of Conditions

Proposal : Details pursuant to Conditions 4 (Refuse storage) and 5 (Cycle storage) of planning permission 19/00131/ful granted for Demolition of existing detached house, erection of 3-storey building with further floor of accommodation in roofspace comprising 3 x 1 bedroom flat, 4 x 2-bedroom flats and 1 x 3 bedroom flat, formation of vehicular access and provision of 4 associated parking spaces and refuse storage

Date Decision: 05.05.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00406/HSE

Location : 35 Tideswell Road
Croydon
CR0 8PW

Ward : **Shirley South**
Type: Householder Application

Proposal : Proposed two storey side and single storey wrap around extension

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00681/ADV
Location : St Johns Church
Shirley Church Road
Croydon
CR0 5EE

Ward : Shirley South
Type: Consent to display advertisements

Proposal : Installation of freestanding sign

The new Noticeboard we wish to use will last for many years. It is similar to local new noticeboards locally approved.

The Noticeboard will be made from aluminium.

The Noticeboard will display service times, details of the Vicar and Verger with their contact details

Date Decision: 03.05.23

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 23/00765/GPDO
Location : Trinity School Of John Whitgift
Shirley Road
Croydon
CR0 7ER

Ward : Shirley South
Type: Prior Appvl - solar PV equipment replace

Proposal : Notification under prior approval for the installation of solar photovoltaic panels.

Date Decision: 20.04.23

Prior approval not required

Level: Delegated Business Meeting

Ref. No. : 23/01373/PAD
Location : 159 Shirley Church Road
Croydon
CR0 5AJ

Ward : Shirley South
Type: Determination prior approval demolition

Proposal : Demolition of the house and associated structures (Prior approval application)

Date Decision: 03.05.23

(Approval) refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 26.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 21/06182/FUL **Ward : South Croydon**
Location : 1 - 16 Haling Grove **Type: Full planning permission**
South Croydon
CR2 6BR
Proposal : Alterations and erection of single/two storey side/rear extensions and construction of an additional floor to Piplee House, Neern House and Ben House to provide an additional 6x two bedroom flats and the enlargement of the existing flats; provision of associated landscaping

Date Decision: 25.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/02175/FUL **Ward : South Croydon**
Location : 47 St Augustine's Avenue **Type: Full planning permission**
South Croydon
CR2 6JP
Proposal : Alterations to include installation of new windows and construction of dormer window in the front roofslope; conversion of dwelling to form 3 self-contained flats comprising of 2 two-bedrooms and 1 one bedroom flats for HMO Use.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/04992/DISC **Ward : South Croydon**
Location : 270 Selsdon Road **Type: Discharge of Conditions**
South Croydon
CR2 7AA
Proposal : Discharge of Condition 3 (Construction Logistics) attached to permission 20/02863/FUL for Demolition of the existing dwelling and erection of a 2/3/4 storey building comprising 9 units. Provision of associated parking, landscaping, amenity space, refuse and cycle storage

Date Decision: 27.04.23

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Approved

Level: Delegated Business Meeting

Ref. No. : 22/05255/FUL **Ward : South Croydon**
Location : 39 E-F Birdhurst Road **Type: Full planning permission**
South Croydon
CR2 7EF

Proposal : Increased size of 2no. flats (using roofspace); installation of 6no. rooflights.

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 22/05318/FUL **Ward : South Croydon**
Location : 73 - 73A Sussex Road **Type: Full planning permission**
South Croydon
CR2 7DB

Proposal : Erection of a two storey rear extension, first floor side extension and change of use of part ground floor of workshop area from Commercial, Business and Service (Use Class E) to create a two-storey new residential unit (Use Class C3), and change of use of residential staircase area to retail.

Date Decision: 24.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00526/HSE **Ward : South Croydon**
Location : 68 Blenheim Park Road **Type: Householder Application**
South Croydon
CR2 6BE

Proposal : Demolition of garage. Erection of single storey rear extension and single storey front/side extension comprising front porch.

Date Decision: 21.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00542/HSE **Ward : South Croydon**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 39 Croham Manor Road
South Croydon
CR2 7BJ

Type: Householder Application

Proposal : Erection of two-storey rear/side extension, first floor rear extension and first floor side extension with associated works

Date Decision: 18.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00575/HSE
Location : 4 Mount Park Avenue
South Croydon
CR2 6DG

Ward : **South Croydon**
Type: Householder Application

Proposal : Demotion of garage. Erection of part single part two-storey side/rear extension. Alterations to front porch.

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00581/FUL
Location : 89 South End
Croydon
CR0 1BG

Ward : **South Croydon**
Type: Full planning permission

Proposal : Change of use at rear first floor office space into a one-person one-bedroom residential flat.

Date Decision: 24.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00734/DISC
Location : 56 West Hill
South Croydon
CR2 0SA

Ward : **South Croydon**
Type: Discharge of Conditions

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Discharge of condition 5 (Materials and Detailed Drawings) attached to planning permission 20/04307/FUL (Demolition of existing dwelling and erection of 8 residential units in a 3 storey building with associated parking, cycle and refuse storage)

Date Decision: 19.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00736/HSE
Location : 16 Aberdeen Road
Croydon
CR0 1EQ
Ward : South Croydon
Type: Householder Application

Proposal : Erection of single storey rear extension to dwelling.

Date Decision: 19.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00740/DISC
Location : 25 Temple Road
Croydon
CR0 1HU
Ward : South Croydon
Type: Discharge of Conditions

Proposal : Details pursuant to condition 6 (CLP) of planning permission 20/02257/FUL granted for erection of a new three storey building containing 5 flats with associated external works.

Date Decision: 20.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00849/DISC
Location : 17 Moreton Road
South Croydon
CR2 7DN
Ward : South Croydon
Type: Discharge of Conditions

Proposal : Discharge of Condition 3 (cycle and refuse) attached to planning permission 21/05475/FUL for the retrospective application for demolition of the existing attached garage; Erection of a two-storey side extension and basement to form an additional one-bedroom house

Date Decision: 25.04.23

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00870/HSE
Location : 13 Haling Road
South Croydon
CR2 6HS

Ward : **South Croydon**
Type: Householder Application

Proposal : Erection of ground floor side/rear extension and first floor rear extension

Date Decision: 02.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00891/FUL
Location : 20 Selsdon Road
South Croydon
CR2 6PA

Ward : **South Croydon**
Type: Full planning permission

Proposal : Conversion of existing upper offices; second/third floor rear extensions; main roof extension and new thtree storey rear building to provide 9 residential units with external amenity and support areas.

Date Decision: 02.05.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00893/DISC
Location : Land To Rear Of 23 And 25 Normanton Road
South Croydon
CR2 7AE

Ward : **South Croydon**
Type: Discharge of Conditions

Proposal : Discharge of conditions 7 (Delivery and Servicing Plan), 10 (visibility splays), and 11 (EVCPs) in relation to planning permission 20/02352/FUL for Construction of a four-storey building, including basement and roof accommodation, to accommodate 9 flats, under-croft vehicle and cycle parking, refuse store, vehicular access from existing parking area and landscaping, approved on 26.03.2021.

Date Decision: 05.05.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/00946/HSE
Location : 10 Birdhurst Gardens
South Croydon
CR2 7DT
Ward : South Croydon
Type: Householder Application

Proposal : Alterations. Erection of a single storey rear/side extension and erection of a two-storey side extension (following demolition of existing garage and rear addition).

Date Decision: 20.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00955/GPDO
Location : 67 Churchill Road
South Croydon
CR2 6HE
Ward : South Croydon
Type: Prior Appvl - Class A Larger House Extns

Proposal : Demolition of utility room and erection of single storey rear extension projecting out 6 metres with a maximum height of 3.3 metres

Date Decision: 19.04.23

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 23/01027/TRE
Location : Europa Court
46 Campden Road
South Croydon
CR2 7EN
Ward : South Croydon
Type: Consent for works to protected trees

Proposal : T11, London Plane - To re-pollard crown. Check for Massaria spp. diseased branches during any climbing operation and prune out where necessary. (TPO 7, 1968)

Date Decision: 17.04.23

Consent Granted (Tree App.)

Level: Delegated Business Meeting

Ref. No. : 21/00848/FUL
Ward : South Norwood

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 19 High Street
South Norwood
London
SE25 6EZ
Type: Full planning permission

Proposal : Alterations; Erection of ventilation pipe and Change of use from shop to restaurant and bar (Sui Generis)

Date Decision: 26.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00317/FUL
Location : S V S House
2B Oliver Grove
South Norwood
London
SE25 6EJ
Ward : **South Norwood**
Type: Full planning permission

Proposal : Change of use of first floor from offices (Use Class E) to two self-contained flats (Use Class C3) and associated external alterations.

Date Decision: 26.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00364/HSE
Location : 19 Lancaster Road
South Norwood
London
SE25 4BJ
Ward : **South Norwood**
Type: Householder Application

Proposal : Erection of porch enclosure and bay window to the front following alteration/removal of existing garage doors.

Date Decision: 24.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00877/DISC
Ward : **South Norwood**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 6 - 8 Oliver Grove
South Norwood
London
SE25 6EJ
Type: Discharge of Conditions

Proposal : Discharge of Condition 4 (Construction Logistics Plan) attached to permission 19/02652/FUL for 'Demolition of rear single storey community church hall building and erection of replacement rear community church hall building with ground floor and mezzanine (1st) floor. Associated alterations to rear hardstanding to make provision for planting, seating, covered cycle storage, and marked out parking bays (including disabled parking bay).'

Date Decision: 27.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/01040/DISC
Location : 4 Prince Road
South Norwood
London
SE25 6NN
Ward : **South Norwood**
Type: Discharge of Conditions

Proposal : Discharge of Condition 4 (Landscaping Specification) and Condition 5 (Highways Conditions Survey) attached to permission 21/05345/FUL for 'Demolition of existing rear and side projections and removal of existing vehicle crossover.. Erection of part single/two-storey side and single-storey rear extension and conversion of resulting building to provide four (4) self-contained flats with associated amenity space, cycle and refuse storage and landscaping.'

Date Decision: 05.05.23

Approved

Level: Delegated Business Meeting

Ref. No. : 23/01042/GPDO
Location : 2 Hambrook Road
South Norwood
London
SE25 4HJ
Ward : **South Norwood**
Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum height of 3.8 metres

Date Decision: 26.04.23

Prior Approval No Jurisdiction (GPDO)

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 116 Moffat Road
Thornton Heath
CR7 8PW
Type: Full planning permission

Proposal : Rear ground, first floor and roof extensions to the property and conversion to form two flats. Associated site alterations

Date Decision: 25.04.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/00340/FUL
Location : 263 Parchmore Road
Thornton Heath
CR7 8HH
Ward : **Thornton Heath**
Type: Full planning permission

Proposal : Conversion of loft to habitable space, erection of hip to gable and erection of rear dormer. Erection of single storey side extension/ porch.

Date Decision: 17.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 21/04895/FUL
Location : Wyvale Garden Centre
89 Waddon Way
Croydon
CR0 4HY
Ward : **Waddon**
Type: Full planning permission

Proposal : Demolition of existing structures (excluding Grade II listed diving platform) and comprehensive redevelopment of the site to provide a residential led mixed use scheme in buildings ranging between 3 and 10 storeys in height with podium level, flexible Class E floorspace at ground level, car parking, cycle parking, access arrangements, public realm, landscaping, services and associated infrastructure.

The proposed development comprises 180 new residential units, 615sqm of flexible Class E floorspace and 40sqm resident's concierge.

(Please note amended documents dated 28/10/2022 and 14/11/2022)

Date Decision: 26.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00733/FUL **Ward : Waddon**
Location : 518 Purley Way **Type: Full planning permission**
Croydon
CR0 4RE

Proposal : Retrospective planning application for the provision of six additional skylights at 518 Purley Way.

Date Decision: 19.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00777/DISC **Ward : Waddon**
Location : 2 Barham Road **Type: Discharge of Conditions**
South Croydon
CR2 6LD

Proposal : Discharge of conditions 6 (waste management strategy), 7 (cycle storage), 8 (electric vehicle charging points), 14 (carbon reduction) attached to planning permission ref. 20/00534/FUL for Demolition of dwellinghouse and erection of a three storey building with accommodation in the roof consisting of 9 flats with associated car parking, cycle parking, refuse storage and landscaping

Date Decision: 20.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00818/HSE **Ward : Waddon**
Location : 2 Waddon Close **Type: Householder Application**
Croydon
CR0 4JT

Proposal : Replacement of single storey rear extension

Date Decision: 27.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00843/LP **Ward : Waddon**
Location : 43 Bramley Hill **Type: LDC (Proposed) Use edged**
South Croydon
CR2 6NW

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Use of dwelling house from C3 to C3 (b) as children's home by no more than 4 children from ages of 11-17 under the supervision of a carer.

Date Decision: 21.04.23

Certificate Refused (Lawful Dev. Cert.)

Level: Delegated Business Meeting

Ref. No. : 23/00986/HSE
Location : 49 Barrow Road
Croydon
CR0 4EZ

Ward : Waddon
Type: Householder Application

Proposal : Erection of single storey side extension and first floor rear extension.

Date Decision: 05.05.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01173/NMA
Location : 1 Duppas Hill Terrace
Croydon
CR0 4BA

Ward : Waddon
Type: Non-material amendment

Proposal : Non-material amendment to planning approval 20/01912/FUL to amend the wording of condition 11 (Construction Logistics Plan).

Date Decision: 20.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 22/05100/FUL
Location : 65 Birchanger Road
South Norwood
London
SE25 5BE

Ward : Woodside
Type: Full planning permission

Proposal : The creation of a new basement dwelling with front and rear lightwells, amalgamation of two flats on the second floor into a larger single flat, and associated site alterations

Date Decision: 26.04.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00168/DISC **Ward : Woodside**
Location : Land R/o 8-10 Carmichael Road **Type: Discharge of Conditions**
South Norwood
London
SE25 5LT
Proposal : Details pursuant to the discharge of condition 6 (CLP) from planning permission
20/01681/FUL for 'Removal of rear outbuildings and erection of two new homes'
Date Decision: 03.05.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/00324/HSE **Ward : Woodside**
Location : 595 Davidson Road **Type: Householder Application**
Croydon
CR0 6DU
Proposal : Erection of replacement detached outbuilding in rear garden.
Date Decision: 26.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00338/FUL **Ward : Woodside**
Location : 31 Clifford Road **Type: Full planning permission**
South Norwood
London
SE25 5JJ
Proposal : Change of use of ground floor/basement unit from Class E (retail) to Class C3
(Dwellings). Removal of extractor fan and chimney. Alterations and conversion of building
to provide 2 x two bed flats. (Amended Description)
Date Decision: 20.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00499/FUL **Ward : Woodside**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 27 Carmichael Road
South Norwood
London
SE25 5LS
Type: Full planning permission

Proposal : Alterations, change of use from 6-person HMO (house in multiple occupation) (C4) to an 8-person HMO (sui generis), erection of L-shaped rear dormer, single-storey side/rear and single-storey rear extensions and provision of 2x rooflights in front roofslope and associated refuse and cycle storage

Date Decision: 25.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00775/FUL
Location : 16 Elborough Road
South Norwood
London
SE25 5BD
Ward : **Woodside**
Type: Full planning permission

Proposal : Proposed conversion of dwelling (Use Class C3) to a small HMO (Use Class C4), with associated site alterations

Date Decision: 20.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00831/HSE
Location : 17 Dickensons Lane
South Norwood
London
SE25 5HJ
Ward : **Woodside**
Type: Householder Application

Proposal : Erection of first floor rear infill extension. Ground floor alterations. Front garden alterations and provision of refuse and cycle storage.

Date Decision: 24.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00840/DISC
Ward : **Woodside**

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 10 Portland Road
South Norwood
London
SE25 4PF
Type: Discharge of Conditions

Proposal : Discharge of Conditions 3 (Materials), 4 (Refuse) and 5 (Cycle Storage) of LPA ref: 22/00313/FUL (Alterations to existing building to mixed use development, 2 x 1 bedroom flats above class E unit. Change of use of first and second floor)

Date Decision: 21.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00841/DISC
Location : 18 Portland Road
South Norwood
London
SE25 4PF
Ward : Woodside
Type: Discharge of Conditions

Proposal : Discharge of Conditions 3 (Materials), 4 (Refuse) and 5 (Cycle Storage) of LPA ref: 22/00309/GPDO (Prior-approval application for change of use from Use Class E to Use Class C3, alterations to existing building, conversion of the first and second floor to form 2 no. residential studio units)

Date Decision: 26.04.23

Not approved

Level: Delegated Business Meeting

Ref. No. : 23/00907/ADV
Location : The Beehive
47 Woodside Green
South Norwood
London
SE25 5HQ
Ward : Woodside
Type: Consent to display advertisements

Proposal : Display of 1no. fascia sign (internal illumination to letters only), 1no. projecting sign (internal illumination to letters only), 3no. wall mounted signs and 2no. pole mounted signs (Advertisement).

Date Decision: 28.04.23

Consent Granted (Advertisement)

Level: Delegated Business Meeting

Ref. No. : 23/00958/HSE
Ward : Woodside

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : 22 Notson Road
South Norwood
London
SE25 4JZ
Type: Householder Application

Proposal : Erection of a dormer loft conversion to rear roofslope, raising of the ridge line and installation of two rooflights into front roofslope.

Date Decision: 25.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01083/HSE
Location : 17B Balfour Road
South Norwood
London
SE25 5JY
Ward : **Woodside**
Type: Householder Application

Proposal : Loft Extension

Date Decision: 04.05.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/01095/LP
Location : 93 Estcourt Road
South Norwood
London
SE25 4SA
Ward : **Woodside**
Type: LDC (Proposed) Operations edged

Proposal : Erection of roof extension to rear of main roofslope and installation of three (3) rooflights into front roofslope.

Date Decision: 02.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 22/03955/FUL
Location : 59 Leander Road
Thornton Heath
CR7 6JZ
Ward : **West Thornton**
Type: Full planning permission

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Proposal : Conversion of house to two self contained dwellings.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 22/04479/DISC

Ward : West Thornton

Location : Former Site Of The Wheatsheaf
759 London Road
Thornton Heath
CR7 6AW

Type: Discharge of Conditions

Proposal : Discharge of Condition 14 (Travel Plan) of permission 17/00663/FUL for 'Demolition of existing Public House and erection of a 5 storey building providing 134sqm of Class A1/A2 use at ground floor, and 6 one bedroom, 4 two bedroom and 3 three bedroom flats above: formation of vehicular access and provision of associated car parking and secure cycle storage.'

Date Decision: 21.04.23

Approved

Level: Delegated Business Meeting

Ref. No. : 22/04695/GPDO

Ward : West Thornton

Location : 83 Headcorn Road
Thornton Heath
CR7 6JS

Type: Prior Appvl - Class A Larger House Extns

Proposal : Erection of a single storey rear extension projecting out 6 metres from the rear wall of the original house with a height to the eaves of 3 metres and a maximum overall height of 3 metres

Date Decision: 26.04.23

Prior Approval No Jurisdiction (GPDO)

Level: Delegated Business Meeting

Ref. No. : 22/05254/FUL

Ward : West Thornton

Location : 196 Silverleigh Road
Thornton Heath
CR7 6DS

Type: Full planning permission

Proposal : Installation of dropped kerb.

Date Decision: 25.04.23

Permission Refused

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Level: Delegated Business Meeting

Ref. No. : 23/00054/FUL **Ward : West Thornton**
Location : 63 Buxton Road **Type: Full planning permission**
Thornton Heath
CR7 7HJ

Proposal : Erection of part single-storey, part first-floor rear extension and rear mansard roof extension. Change of use of resulting building single dwelling (Class C3) to a 4-person House in Multiple Occupation (HMO) (Class C4) with associated refuse and cycle storage.

Date Decision: 27.04.23

Permission Refused

Level: Delegated Business Meeting

Ref. No. : 23/00589/DISC **Ward : West Thornton**
Location : Land Development Site **Type: Discharge of Conditions**
791 London Road
Thornton Heath
CR7 6AW

Proposal : Discharge of Condition 21 (Public Art) attached to permission 19/01563/FUL for 'Demolition of existing buildings, erection of part three / part four storey building, with flexible A1/A2/D1 Use Class at ground floor frontage, and provision of 17 flats with rear rooftop amenity area at third floor, provision of associated bin storage, and cycle storage'.

Date Decision: 26.04.23

Withdrawn application

Level: Delegated Business Meeting

Ref. No. : 23/00707/FUL **Ward : West Thornton**
Location : Croydon University Hospital **Type: Full planning permission**
530 London Road
Thornton Heath
CR7 7YE

Proposal : Alterations, demolition of existing building and erection of single storey building to house switchgear system

Date Decision: 18.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/00845/HSE
Location : 205 Silverleigh Road
Thornton Heath
CR7 6DT
Ward : West Thornton
Type: Householder Application

Proposal : Erection of single storey rear extension and decking with a glazed canopy following the demolition of existing conservatory.

Date Decision: 25.04.23

Permission Granted

Level: Delegated Business Meeting

Ref. No. : 23/01348/PDO
Location : Croydon House
1 Peall Road
Croydon
CR0 3EX
Ward : West Thornton
Type: Observations on permitted development

Proposal : Replacement of 1 cabinet with 1 new cabinet, removal and replacement of 8 X RRU, removal and replacement of 2 antenna, removal and replacement of 1 GPS Node and development ancillary reworks thereto.

Date Decision: 26.04.23

Objection

Level: Delegated Business Meeting

Ref. No. : 23/01448/LP
Location : 19 Cameron Road
Croydon
CR0 2SR
Ward : West Thornton
Type: LDC (Proposed) Operations edged

Proposal : Erection of rear dormer.

Date Decision: 04.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. : 23/01449/LP
Location : 19 Cameron Road
Croydon
CR0 2SR
Ward : West Thornton
Type: LDC (Proposed) Operations edged

Proposal : Erection of single storey side extension.

Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Date Decision: 04.05.23

Lawful Dev. Cert. Granted (proposed)

Level: Delegated Business Meeting

Ref. No. :	22/01133/AUT	Ward :	Out Of Borough
Location :	Warlingham School, Tithepit Shaw Lane, Warlingham, Surrey, CR6 9YB	Type:	Consultation from Adjoining Authority
Proposal :	Erection of new modular building for school to provide two classrooms including office, meeting room, ancillary spaces and access ramp (Adjoining Borough Consultation from Tandridge District Council ref. TA/2022/605)		

Date Decision: 17.04.23

Adj Borough - No Comment On Proposal

Level: Delegated Business Meeting

Ref. No. :	22/05152/AUT	Ward :	Out Of Borough
Location :	57 Croydon Road Beddington Croydon CR0 4QE	Type:	Consultation from Adjoining Authority
Proposal :	Erection of two buildings to be used as a body shop and car wash - Adjoining Borough Consultation from London Borough of Sutton		

Date Decision: 20.04.23

Adj Borough - No Comment On Proposal

Level: Delegated Business Meeting

Ref. No. :	23/00587/AUT	Ward :	Out Of Borough
Location :	Orchard School Sports Centre William Booth Road Penge London SE20 8BG	Type:	Consultation from Adjoining Authority
Proposal :	Consultation request from London Borough of Bromley. Proposal: Installation of 25m telecommunications lattice tower with associated equipment enclosure and cabinets and ancillary development in southern corner of sports ground		

Date Decision: 21.04.23

No Objection

Level: Delegated Business Meeting

Ref. No. :	23/01081/AUT	Ward :	Out Of Borough
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Decisions (Ward Order) since last Planning Control Meeting as at: 9th May 2023

Location : Land Adjacent To David Lloyd Purley 30 Hannibal Way Wallington Croydon CR0 4RW
Type: Consultation from Adjoining Authority

Proposal : Demolition of a single storey block of 6 storage units and provision of 48 car parking spaces ancillary to the sports club. (Consultation From London Borough of Sutton - Reference DM2023/00099).

Date Decision: 17.04.23

Adj Borough - No Comment On Proposal

Level: Delegated Business Meeting

Ref. No. : 23/01349/AUT
Location : 18 Cedarville Gardens London Lambeth SW16 3DA
Ward : **Out Of Borough**
Type: Consultation from Adjoining Authority

Proposal : Erection of part single storey ground floor rear extension with sliding doors, erection of a rear roof extension plus a roof light and installation of 2 roof lights to the front roof slope. Adjoining Borough Consultation From London Borough of Lambeth (Reference: 23/00739/FUL).

Date Decision: 04.05.23

No Objection

Level: Delegated Business Meeting

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